

MCHENRY COUNTY COLLEGE

FOODSERVICE RENO

8900 U.S. Highway 14
Crystal Lake, IL 60012

DKA PROJECT NO: 21-042

ISSUED FOR BID

10/25/2021



ARCHITECT:

DEMONICA KEMPER ARCHITECTS
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CHICAGO, IL 60661
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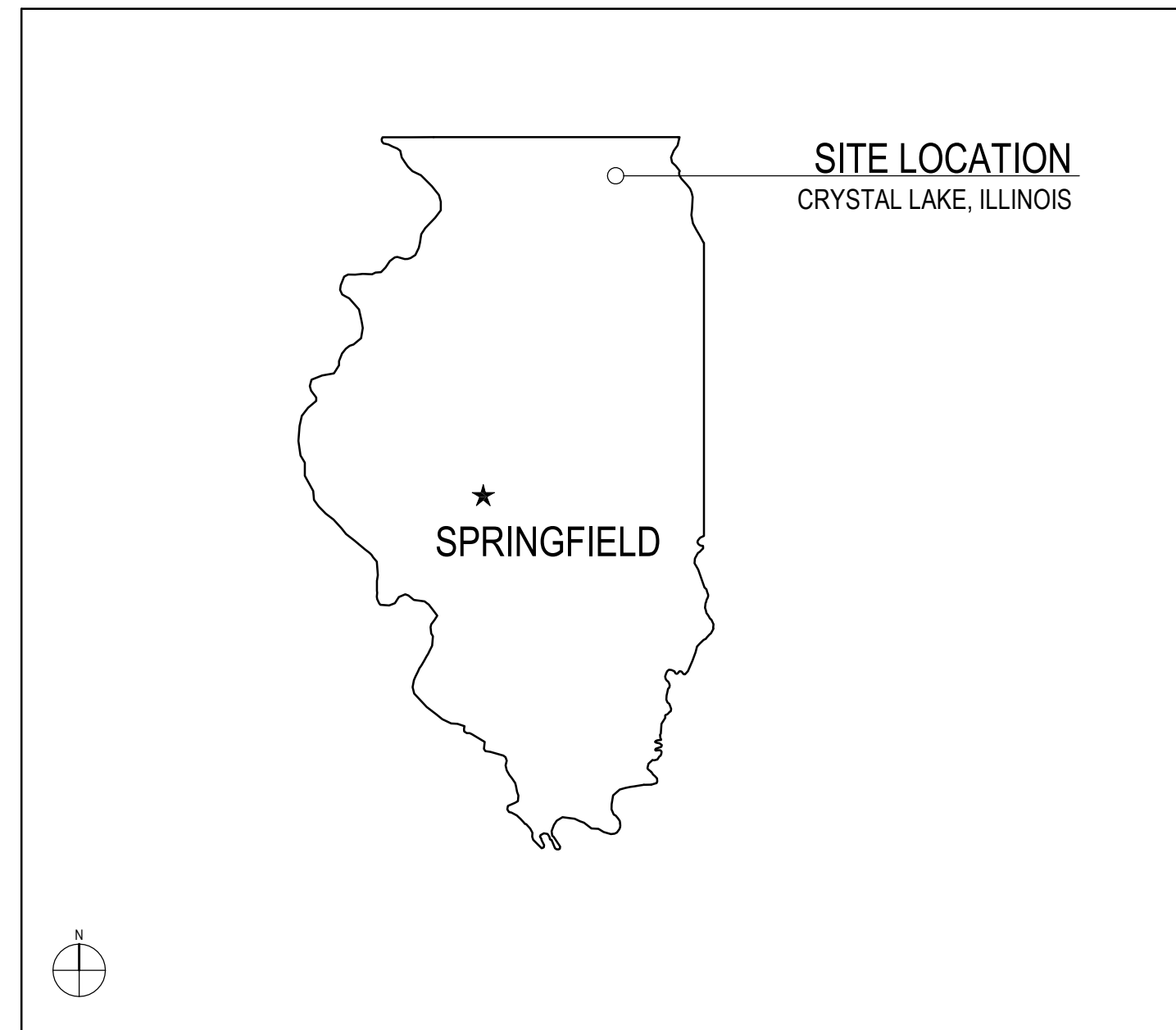
ENGINEER:

20/10 ENGINEERING GROUP
1216 TOWER RD, SCHAUMBURG, IL
60173
T: 847.882.2010

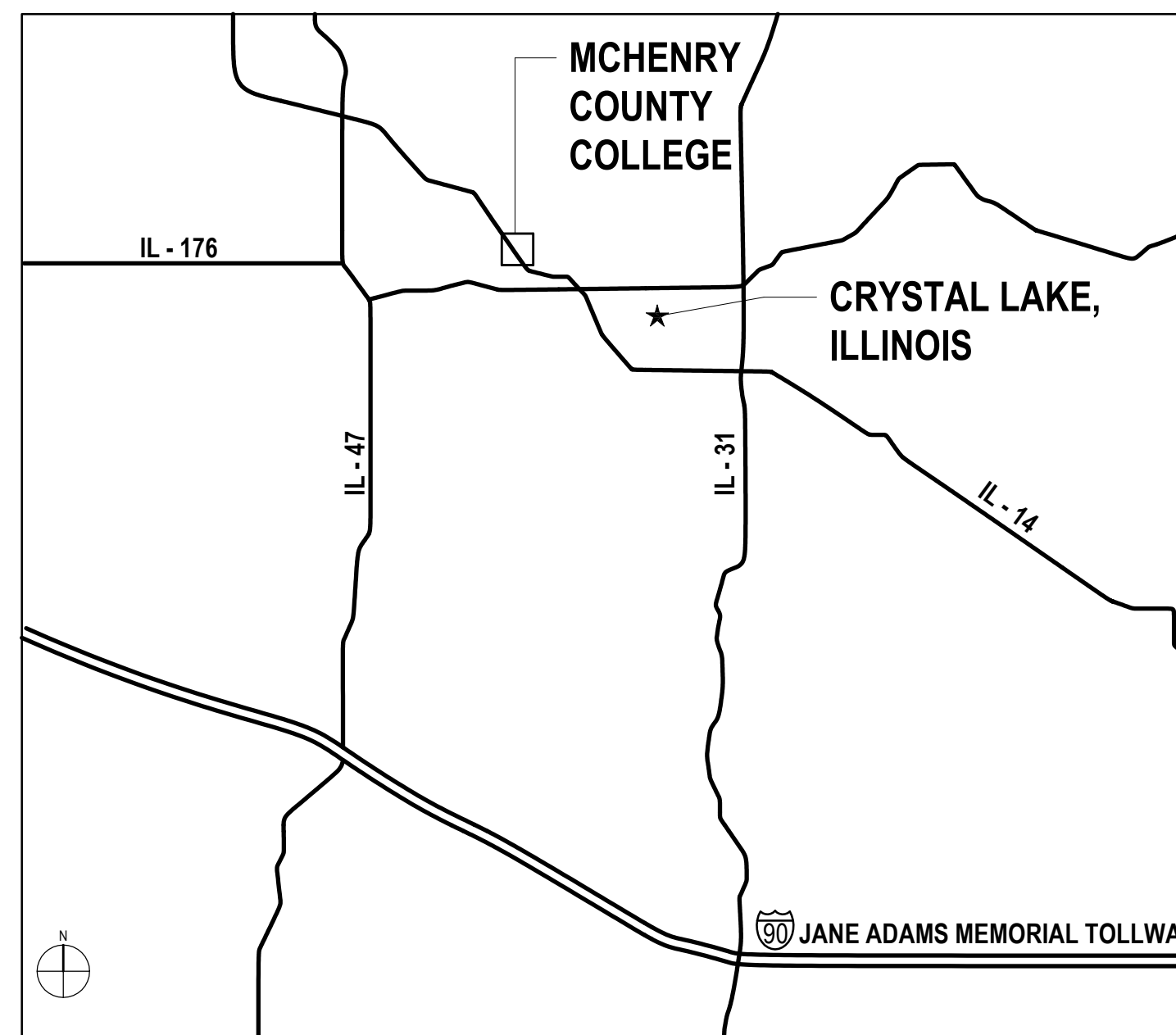
ABBREVIATIONS

AP ACCESS PANEL	HDW HARDWARE	TEL TELEPHONE
ACOUST ACOUSTICAL	HDWD HARDWOOD	TV TELEVISION
ACT ACOUSTICAL CEILING TILE	HDR HEADER	TRZ TERRAZZO
ADJ ADJACENT	HTG HEATING	TB TILE BASE
A.F.F. ABOVE FINISH FLOOR	HVAC HEATING, VENTILATING, AIR CONDITIONING	THK THICK
AGGR AGGREGATE	HT HEIGHT	T.O.C. TOP OF CURB
A/C AIR CONDITIONING	HC HOLLOW CORE	TOP TOP OF PAVEMENT
ALT ALTERNATE	HM HOLLOW METAL	TOW TOP OF WALL
ALUM ALUMINUM	HMF HOLLOW METAL FRAME	T&G TONGUE AND GROOVE
ANG ANGLE	HORZ HORIZONTAL	TYP TYPICAL
APPD APPROVED	HB HOSE BIB	
APPROX APPROXIMATE	HR HOUR	UNF UNFINISHED
ARCH ARCHITECTURAL OR ARCHITECT		UN.O. UNLESS NOTED OTHERWISE
AD AREA DRAIN	INC INCLUDE	UR URINAL
ASB ASBESTOS	I.D. INSIDE DIAMETER	
ASPH ASPHALT	INSUL INSULATION	VB VINYL BASE
A/V AUDIO VISUAL	INTR INTERIOR	VERT VERTICAL
	INV INVERT	VEST VESTIBULE
		VCT VINYL COMPOSITION TILE
		VW VINYL WALLCOVERING
BSMT BASEMENT	JAN JANITOR	WSCT WAINSCOT
BRG BEARING	JT JOINT	WC WATER CLOSET
BM BEAM	KIT KITCHEN	WLK WALK-OFF MAT
BTW BETWEEN	LAM LAMINATE	WR WATER RESISTANT
BITUM BITUMINOUS	LAV LAVATORY	WT WALL TILE OR WEIGHT
BLK BLOCK	LH LEFT HAND	LT LIGHT
BLKG BLOCKING	LGTH LENGTH	W WEST
BD BOARD	LT LIGHT	W WIDE FLANGE "W16x21"
BRK BRICK	LWC LIGHT WEIGHT CONCRETE	W WIDTH
BLDG BUILDING	LTL LINTEL	W/ WITH
	LN LINOLEUM	W/O WITHOUT
CAB CABINET	LL LIVE LOAD	WD WOOD
CIP CAST IN PLACE		WDP WOOD PANEL
CIPC CAST IN PLACE CONCRETE	MH MANHOLE	X EXISTING
CI CURB INLET	MFR MANUFACTURER	
CB CATCH BASIN	MAS MASONRY	
CLG CEILING	MO MASONRY OPENING	
CTR CENTER	MTL METAL	
CJ CONTROL JOINT	MAX MAXIMUM	
CL CENTER LINE	MECH MECHANICAL	
CPT CARPET	MTC MECHANICAL TRADES CONTRACTOR	
CT CERAMIC TILE	MEMB MEMBRANE	
CLR CLEAR	MT MARBLE TILE	
CLO CLOSET	MIN MINIMUM	
COL COLUMN	MISC MISCELLANEOUS	
CONC CONCRETE	MTD MOUNDED	
CONN CONNECTION	MTG MOUNTING	
CONST CONSTRUCTION	MUL MULLION	
CM CONSTRUCTION MANAGER		
CONT CONTINUOUS OR CONTINUE	NOM NOMINAL	
CONTR CONTRACTOR	N NORTH	
CK CORK	N.I.C. NOT IN CONTRACT	
CORR CORRIDOR	N.T.S. NOT TO SCALE	
CNSK COUNTERSUNK	NO OR # NUMBER	
CRS COURSE		
	OBS OBSCURE	
DEMO DEMOLISH OR DEMOLITION	OFF OFFICE	
DEPT DEPARTMENT	O.C. ON CENTER	
DL DEAD LOAD	OPNG OPENING	
DIA DIAMETER	OPP OPPOSITE	
DIM DIMENSION	OSB ORIENTED STRAND BOARD	
DISP DISPENSER	O.D. OUTSIDE DIAMETER	
DIV DIVISION	OA OVERALL	
DR DOOR	OFD OVERFLOW DRAIN	
DO DOOR OPENING		
DBL DOUBLE	PT PAINT	
DS DOWNSPOUT	PTD PAINTED	
DRW DRAWER	PR PAIR	
DWG DRAWING	PNL PANEL	
DF DRINKING FOUNTAIN	PBD PARTICLE BOARD	
DS DRY STANDPIPE	PTN PARTITION	
DWT DETECTABLE WARNING TILE	PLAS PLASTIC	
	P-LAM PLASTIC LAMINATE	
E EAST	PL PLATE	
EA EACH	PTC PLUMBING TRADES CONTRACTOR	
EIFS EXTERIOR INSULATION FINISH SYSTEM	PLYWD PLYWOOD	
ELEC ELECTRICAL	PSI POUNDS PER SQUARE INCH	
ETC ELECTRICAL TRADES CONTRACTOR	PC PRECAST	
EWG ELECTRICAL WATER COOLER	PCC PRECAST CONCRETE	
EP ELECTRICAL PANEL BOARD		
EL ELEVATION	QT QUARRY TILE	
ELEV ELEVATION	R RADIUS	
ELVTR ELEVATOR	RWL RAIN WATER LEADER	
ENCL ENCLOSURE	RFRG REFRIGERATOR	
EMER EMERGENCY	RGTR REGISTER	
EP PT EPOXY PAINT	REINF REINFORCED	
EPF EPOXY FLOORING	RQD REQUIRED	
EQ EQUAL	RES RESILIENT	
EQPMT EQUIPMENT	RA RETURN AIR	
EXSTG EXISTING	RAG RETURN AIR GRILLE	
EXP EXPANSION	RH RIGHT HAND	
EXP JT EXPANSION JOINT	ROW RIGHT OF WAY	
EXPD EXPOSED	R RISER	
EXTR EXTERIOR	RD ROOF DRAIN	
	RM ROOM	
	R.O. ROUGH OPENING	
	RB RUBBER BASE	
FOC FACE OF CONCRETE	SECT SECTION	
FOF FACE OF FINISH	SK SINK	
FOS FACE OF STUD	SCHED SCHEDULE	
FR FIBERGLASS REINFORCED PANEL	SHTG SHEATHING	
FIN FINISH OR FINISHED	SHT SHEET	
FA FIRE ALARM	SV SHEET VINYL	
FE FIRE EXTINGUISHER	SHWR SHOWER	
FEC FIRE EXTINGUISHER CABINET	SIM SIMILAR	
FHC FIRE HOSE CABINET	SC SEALED CONCRETE	
FIRPF FIREPROOF	SPM SINGLE PLY MEMBRANE	
FB FLAT BAR STOCK	S SOUTH	
FL FLOOR	SFRM SPRAY APPLIED FIRE RESISTIVE MATERIAL	
FD FLOOR DRAIN	SPEC SPECIFICATION	
FLUOR FLUORESCENT	SQ SQUARE	
FT FOOT OR FEET	S.S. STAINLESS STEEL	
FTG FOOTING	STD STANDARD	
FND FOUNDATION	STA STATION	
FRM FRAME	STL STEEL	
FRMG FRAMING	STOR STORAGE	
FS FULL SIZE	STRUCT STRUCTURE OR STRUCTURAL	
FURR FURRING	SUSP SUSPENDED	
FUTR FUTURE	SAT SUSPENDED ACOUSTICAL TILE	
FW FABRIC WALLCOVERING	SYM SYMMETRICAL	
GA GAUGE		
GALV GALVANIZED		
GEN GENERAL		
GC GENERAL CONTRACTOR		
GTC GENERAL TRADES CONTRACTOR		
GL GLASS OR GLAZING		
GD GRADE		
GND GROUND		
GYP BD GYPSUM BOARD		

STATE LOCATION MAP



AREA MAP



CAMPUS MAP



SHEET INDEX

GENERAL
G1.00 SHEET INDEX, ABBREVIATIONS, SYMBOLS & NOTES

ARCHITECTURAL
AD1.10 DEMOLITION PLAN AND REFLECTED CEILING PLAN
A1.10 FLOOR PLAN AND REFLECTED CEILING PLAN
A9.01 INTERIOR ELEVATIONS AND MILLWORK DETAILS

MECHANICAL / ELECTRICAL
ME1.10 MECHANICAL / ELECTRICAL DEMOLITION AND NEW WORK PLANS
ME2.10 MECHANICAL / ELECTRICAL DEMOLITION AND NEW WORK REFLECTED CEILING PLANS



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**SHEET INDEX,
ABBREVIATIONS,
SYMBOLS & NOTES**

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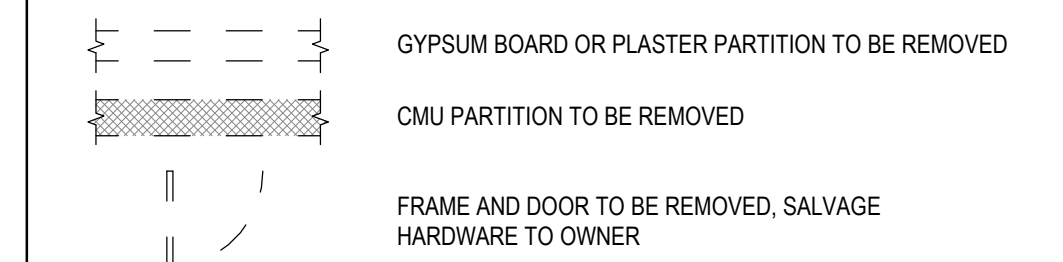
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**DEMOLITION PLAN
 AND REFLECTED
 CEILING PLAN**

SHEET NUMBER:
AD1.10

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DEMO FLOOR PLAN SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.F.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS



DEMO FLOOR PLAN GENERAL NOTES:

- PRIOR TO AND DURING ANY DEMOLITION THE CONTRACTOR SHALL VISIT THE SITE AND MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION AS REQUIRED TO INSTALL ALL NEW WORK. REPAIR, PATCH AND FINISH EXISTING FLOORS, WALLS AND CEILINGS DESIGNATED TO REMAIN TO MATCH EXISTING CONDITIONS.
- REMOVE ALL HANGERS, SUSPENSION SYSTEMS, SUPPORT FRAMING, EQUIPMENT PADS, ANCHORS, ATTACHMENT HARDWARE AND RELATED APPURTENANCES CONNECTED WITH THE WORK TO BE DEMOLISHED. IF COMPLETE REMOVAL IS NOT POSSIBLE, CUT DEVICES AS CLOSE AS POSSIBLE TO ADJOINING SURFACES OR ORIGIN OF SUPPORT.
- DURING THE BIDDING PERIOD, EACH BIDDING CONTRACTOR SHALL VISIT THE SITE AND THE FACILITY TO DETERMINE EXISTING CONDITIONS. CONTRACTOR'S FAILURE TO REASONABLY DETERMINE AND/OR ANTICIPATE THE EFFECT OF EXISTING CONDITIONS AND THE WORK INVOLVED THEREBY SHALL BE JUSTIFICATION FOR ADDITIONAL COMPENSATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL MATERIALS, EQUIPMENT, FIXTURES, SYSTEMS, AND ACCESSORIES WHICH ARE TO REMAIN IN SERVICE SHALL BE CLEANED, REPAIRED, ADJUSTED AND PLACED INTO PROPER OPERATIONS IN ALL MODES WITH THE ORIGINAL SYSTEM.
- WHEN TEMPORARY SHORING AND BRACING IS REQUIRED, CONTRACTOR SHALL RETAIN AND PAY FOR THE SERVICES OF A PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN THE STATE WHERE THE PROJECT IS LOCATED, TO DESIGN AND PREPARE DETAILED DRAWINGS.
- CONTRACTOR SHALL COORDINATE SCHEDULE OF DEMOLITION WORK WITH THE OVERALL PHASING PLAN. ALL AREAS SURROUNDING EACH PHASE OF DEMOLITION/CONSTRUCTION WILL BE OCCUPIED BY THE OWNER DURING THE OWNER'S NORMAL BUSINESS HOURS. DEMOLITION WORK SHALL NOTE ENJOINDER THE USE OF EXISTING ADJACENT SPACES.
- EACH CONTRACTOR SHALL FOLLOW THE PROGRESS OF THE GENERAL DEMOLITION AND REMODELING WORK TO ASSURE THE ACCESSIBILITY AND SAFETY OF EQUIPMENT AND SYSTEMS IN SERVICE IN ORDER TO PROVIDE FOR THE TIMELY REMOVAL AND/OR RELOCATION OF EQUIPMENT, PIPING, ETC.
- REMOVE ALL ABANDONED CONDUIT BOXES, CONDUCTORS, TELEPHONE LINES, ELECTRIC PANELS, AND ANY OTHER MISCELLANEOUS EQUIPMENT NOT REQUIRED FOR THE NEW FACILITY.
- REMOVE ALL RECESSED FLOOR BOXES, WALKER DUCTS, FLOORS SINKS, HUB DRAINS, ELECTRICAL RECEPTACLES, ETC. AND FILL VOIDS AS REQUIRED.
- REMOVE ALL DOOR STOPS AT ASSOCIATED DOORS TO BE DEMOLISHED.
- NO TOXIC SUBSTANCES HAVE BEEN NOTED ON THE SITE. SHOULD THE CONTRACTOR ENCOUNTER ANY ASBESTOS, ASBESTOS PRODUCTS, PCBs OR OTHER TOXIC SUBSTANCES, THE CONTRACTOR SHOULD REPORT THIS IMMEDIATELY TO THE OWNER IN WRITING PRIOR TO CONTINUING WORK IN THIS AREA. WORK SHALL NOT BE RESUMED EXCEPT BY WRITTEN AUTHORIZATION OR AGREEMENT.
- ALL CONSTRUCTION DEBRIS AND EXCESS MATERIAL IS TO BE REMOVED BY THE CONTRACTOR AT THE END OF EACH WORK DAY. THE JOB SITE IS TO BE LEFT SUFFICIENTLY CLEAN AS TO WARRANT OWNER'S APPROVAL.
- REMOVE ALL CEILING SYSTEMS IN THEIR ENTIRETY, INCLUDING TILE, GRID, SUSPENSION WIRING, ANCHORS AND ALL ASSOCIATED APPURTENANCES.
- CONTRACTOR SHALL SALVAGE ALL CEILING TILES FOR POSSIBLE REUSE OR AS EXTRA STOCK FOR OWNER. SALVAGE ONLY UN-CUT TILES WITH NO VISIBLE DAMAGE. ONCE REMOVED, OWNER AND ARCHITECT WILL FIELD REVIEW AND APPROVE SALVAGED TILES PRIOR TO REUSE OR STORAGE.

DEMO FLOOR PLAN REFERENCED NOTES:

FLOOR DEMOLITION KEYED NOTES

F1. EXISTING FLOOR SINK TO REMAIN

WALL DEMOLITION KEYED NOTES

- W1. REMOVE EXISTING WOOD PANEL COLUMN WRAP, SUBSTRATE, AND FRAMING COMPLETE
- W2. REMOVE WOOD PANEL KNEE WALL COMPLETE. SALVAGE WOOD PANELS FOR INFILL OF EXISTING COLUMN
- W3. EXISTING POWER/DATA OUTLETS. EXTEND CONDUITS TO NEW OUTLET LOCATIONS
- W4. REMOVE LIGHT FIXTURE AND ASSOCIATED UTILITIES COMPLETE
- W5. REMOVE CORNERGUARD AND SALVAGE FOR REINSTALLATION
- W6. REMOVE WALLCOVERING FROM TOP OF BASE TO BOTTOM OF EXISTING ALUMINUM CHANNEL - PREP GYP BD AS REQUIRED FOR NEW WORK
- W7. REMOVE WALLCOVERING FROM TOP OF BASE TO CEILING ABOVE - PREP GYP BD AS REQUIRED FOR NEW WORK
- W8. MODIFY EXISTING BASE AND FRAMING AS REQUIRED FOR NEW WORK

CEILING DEMOLITION KEYED NOTES

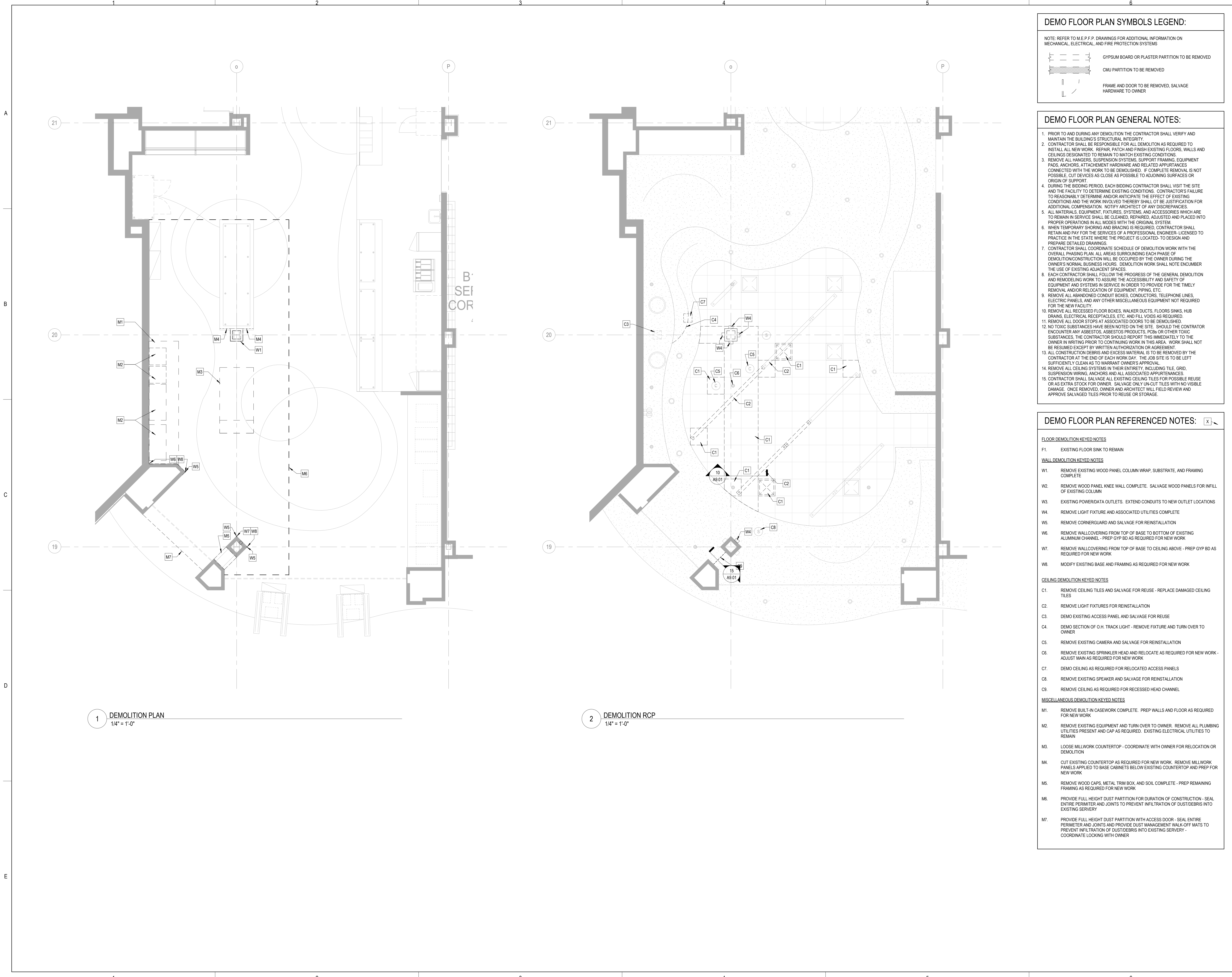
- C1. REMOVE CEILING TILES AND SALVAGE FOR REUSE - REPLACE DAMAGED CEILING TILES
- C2. REMOVE LIGHT FIXTURES FOR REINSTALLATION
- C3. DEMO EXISTING ACCESS PANEL AND SALVAGE FOR REUSE
- C4. DEMO SECTION OF O.H. TRACK LIGHT - REMOVE FIXTURE AND TURN OVER TO OWNER
- C5. REMOVE EXISTING CAMERA AND SALVAGE FOR REINSTALLATION
- C6. REMOVE EXISTING SPRINKLER HEAD AND RELOCATE AS REQUIRED FOR NEW WORK - ADJUST MAIN AS REQUIRED FOR NEW WORK
- C7. DEMO CEILING AS REQUIRED FOR RELOCATED ACCESS PANELS
- C8. REMOVE EXISTING SPEAKER AND SALVAGE FOR REINSTALLATION
- C9. REMOVE CEILING AS REQUIRED FOR RECESSED HEAD CHANNEL

MISCELLANEOUS DEMOLITION KEYED NOTES

- M1. REMOVE BUILT-IN CASEWORK COMPLETE. PREP WALLS AND FLOOR AS REQUIRED FOR NEW WORK
- M2. REMOVE EXISTING EQUIPMENT AND TURN OVER TO OWNER. REMOVE ALL PLUMBING UTILITIES PRESENT AND CAP AS REQUIRED. EXISTING ELECTRICAL UTILITIES TO REMAIN
- M3. LOOSE MILLWORK COUNTERTOP - COORDINATE WITH OWNER FOR RELOCATION OR DEMOLITION
- M4. CUT EXISTING COUNTERTOP AS REQUIRED FOR NEW WORK. REMOVE MILLWORK PANELS APPLIED TO BASE CABINETS BELOW EXISTING COUNTERTOP AND PREP FOR NEW WORK
- M5. REMOVE WOOD CAPS, METAL TRIM BOX, AND SOIL COMPLETE - PREP REMAINING FRAMING AS REQUIRED FOR NEW WORK
- M6. PROVIDE FULL HEIGHT DUST PARTITION FOR DURATION OF CONSTRUCTION - SEAL ENTIRE PERIMETER AND JOINTS TO PREVENT INFILTRATION OF DUST/DEBRIS INTO EXISTING SERVERY
- M7. PROVIDE FULL HEIGHT DUST PARTITION WITH ACCESS DOOR - SEAL ENTIRE PERIMETER AND JOINTS AND PROVIDE DUST MANAGEMENT WALK-OFF MATS TO PREVENT INFILTRATION OF DUST/DEBRIS INTO EXISTING SERVERY - COORDINATE LOCKING WITH OWNER

1 DEMOLITION PLAN
 1/4" = 1'-0"

2 DEMOLITION RCP
 1/4" = 1'-0"



NO.	DESCRIPTION:	DATE:

RCP SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.F.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

- CEILING TYPE
- CEILING ELEVATION A.F.F.
- SUSPENDED ACOUSTICAL TILE CEILING
- GYPSUM BOARD CEILING OR SOFFIT
- RECESSED DOWN LIGHT
- PENDANT LIGHT MOUNT LINEAR FIXTURE
- SPRINKLER HEAD
- EXIT SIGN- SEE CODE COMPLIANCE PLAN
- SPEAKER
- CLOSED CIRCUIT CAMERA
- RETURN AIR GRILLE
- SUPPLY AIR GRILLE
- ACCESS PANEL

RCP GENERAL NOTES:

- ALL HEATING, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION ITEMS ARE SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS FOR REFERENCE AND COORDINATION ONLY. REFER TO HEATING, VENTILATION, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR ACTUAL QUANTITIES. IN CASE OF CONFLICT THE ARCHITECTURAL REFLECTED CEILING PLAN SHALL GOVERN LOCATION OF THESE ITEMS.
- IN AREAS THAT DO NOT HAVE ARCHITECTURAL REFLECTED CEILING PLANS YET REQUIRE NEW ITEMS TO BE INSTALLED IN OR ABOVE THE CEILING PLANE, CONTRACTOR SHALL REMOVE AND REINSTALL, REPLACE OR MODIFY EXISTING CEILING CONSTRUCTION TO ACCOMMODATE NEW WORK. ANY NEW CEILING AREAS SHALL MATCH EXISTING ADJACENT FINISHES.
- CENTER ALL FIXTURES IN CEILING TILES AND FIELD VERIFY GRID LAYOUT FOR PROPER FIXTURE LOCATION. ALIGN ALL FIXTURES IN BOTH DIRECTIONS OF CEILING TILE (UND)
- CENTER ALL SPRINKLER HEADS IN CEILING TILES.
- ALL GYP. BD. CEILINGS TO BE PAINTED P1-X UNLESS OTHERWISE NOTED ON PLANS.
- EXTEND FACE OF ALL GYP. BD. SOFFITS AND HEADERS TO FINISHED CEILING ABOVE U.N.O.
- ALL GYP. BD. CEILINGS TO BE PAINTED P1-X UNLESS OTHERWISE NOTED ON PLANS.
- EXTEND FACE OF ALL GYP. BD. SOFFITS AND HEADERS 4" MIN. BEYOND FINISHED CEILING ABOVE U.N.O.

RCP REFERENCED NOTES:

- RELOCATED ACCESS PANEL - FINISH TO MATCH EXISTING
- RELOCATED SUPPLY GRILLE - ADJUST DUCT AS REQUIRED FOR NEW LOCATION
- PROVIDE LATERAL SUPPORTS ABOVE CEILING TO STRUCTURE ABOVE AS REQUIRED FOR NEW WALL
- AREA OF EXISTING DUCT ABOVE - COORDINATE WITH NEW WALLS BELOW
- SLIDING SECURITY GRATE OVERHEAD TRACK AT SOFFIT
- REINSTALL REMOVED 8" LIGHT FIXTURE

EQUIPMENT SCHEDULE

TYPE	MANUFACTURER	MODEL	NOTES
EQ1.1	PENGUIN LOCKERS	ST_MD_PL_C	VENDING LOCKER - COLD, 26.8"W x 28"D x 81.2"H
EQ1.2	PENGUIN LOCKERS	ST_MD_PL_H	VENDING LOCKER - HOT, 26.8"W x 28"D x 81.2"H
EQ2.1	DMVI	OPTION 4	VENDING - HOT, 47.2"W x 31.9"D x 72.7"H
EQ2.2	DMVI	OPTION 4	VENDING - HOT, 47.2"W x 31.9"D x 72.7"H
EQ3	DMVI	OPTION 8	VENDING - COLD, 64.9"W x 31.9"D x 72.7"H

ALL EQUIPMENT PROVIDED AND INSTALLED BY OWNER.

FLOOR PLAN & SECTION SYMBOLS LEGEND:

NOTE: REFER TO M.E.P.F.P. DRAWINGS FOR ADDITIONAL INFORMATION ON MECHANICAL, ELECTRICAL, AND FIRE PROTECTION SYSTEMS

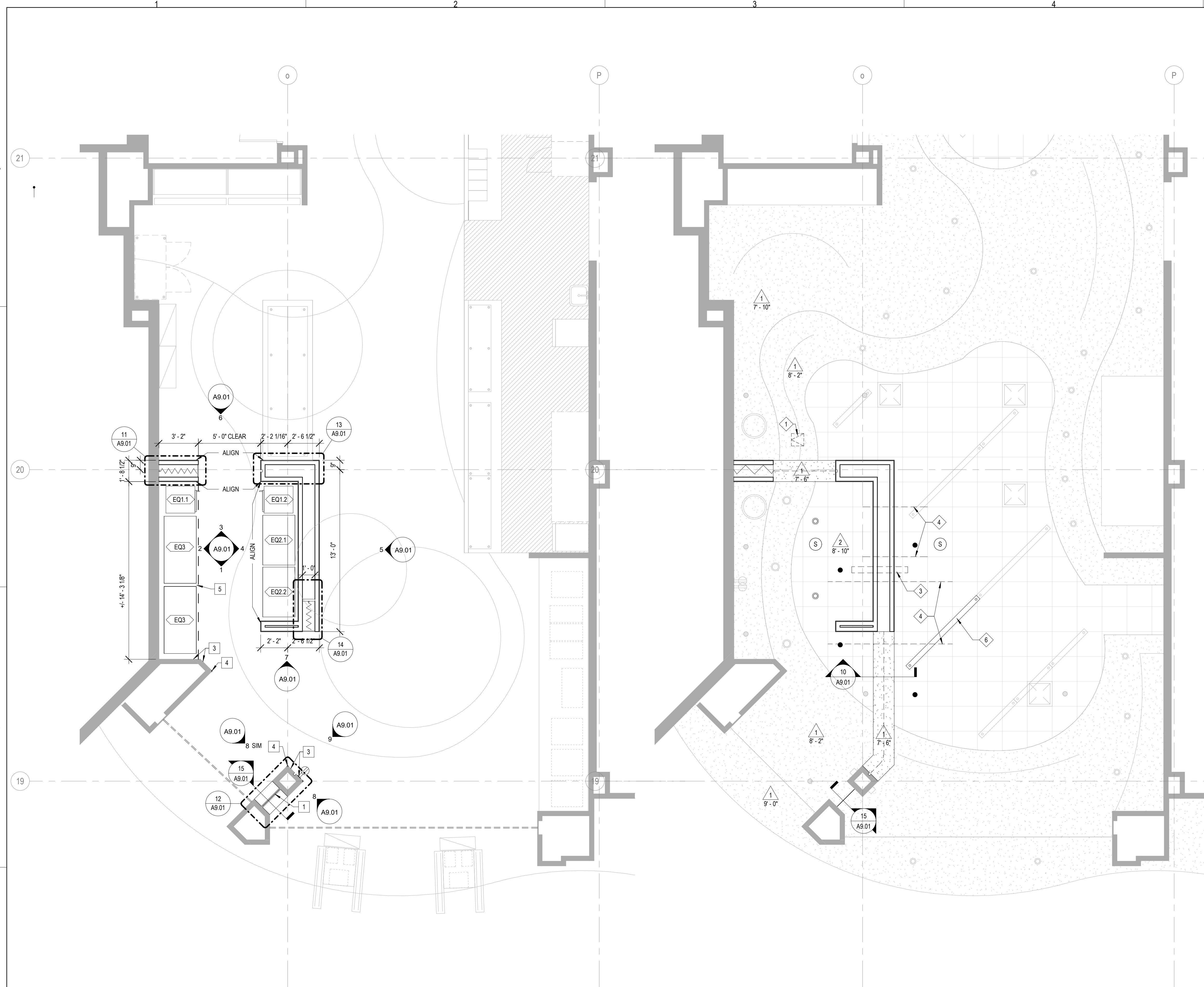
- GREY TONE LINES DEPICT EXISTING CONSTRUCTION
- EXISTING DOOR
- NEW WALL CONSTRUCTION
- NEW DOOR
- PLAN AND SECTION DETAIL CALLOUT
- SECTION CALLOUT
- ELEVATION CALLOUT
- DATUM TAG
- NEW WORK REFERENCED NOTES

FLOOR PLAN GENERAL NOTES:

- FINISH FLOOR ELEVATION OF 0'-0" - XXX'X USGS AS NOTED ON SHEET C-X-XXX
- ELEVATIONS SHOWN ON ARCHITECTURAL DRAWINGS ARE RELATIVE TO FIRST FLOOR FINISH ELEVATION OF 0'-0". REFER TO CIVIL DRAWINGS FOR COORDINATING USGS ELEVATION.
- REFER TO CODE PLANS ON SHEETS A0-XX THRU A0-XX FOR FIRE RATINGS AND AREA SEPARATION LOCATIONS FOR WALLS, ENCLOSURES, OPENINGS, ETC.
- DO NOT SCALE DRAWINGS.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES IN THE DOCUMENTS PRIOR TO WORK COMMENCING.
- NOTES ON DRAWINGS SHALL APPLY TO ALL SIMILAR CONDITIONS WHETHER THEY ARE REPEATED OR NOT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF EXISTING CONDITIONS AND IN-FIELD DIMENSIONS PRIOR TO COMMENCING WORK.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISHED WALL UNLESS NOTED OTHERWISE.
- PROVIDE ACCESS PANELS AT LOCATIONS INDICATED AND AS REQUIRED FOR ACCESS TO EQUIPMENT AND DEVICES INCLUDING, BUT NOT LIMITED TO, MECHANICAL, PLUMBING AND ELECTRICAL WORK. PAINT ACCESS PANELS TO MATCH ADJACENT WALL OR CEILING FINISH.
- REFER TO A10.01 FOR PARTITION SCHEDULE. ALL INTERIOR PARTITIONS SHALL BE TYPE S1A, A, U.N.O.. ALL GYP. BD. COLUMN ENCLOSURES SHALL BE TYPE S2D, U.N.O..
- REFER TO EXTERIOR ELEVATIONS, SECTIONS AND DETAILS FOR CONSTRUCTION OF EXTERIOR WALLS.

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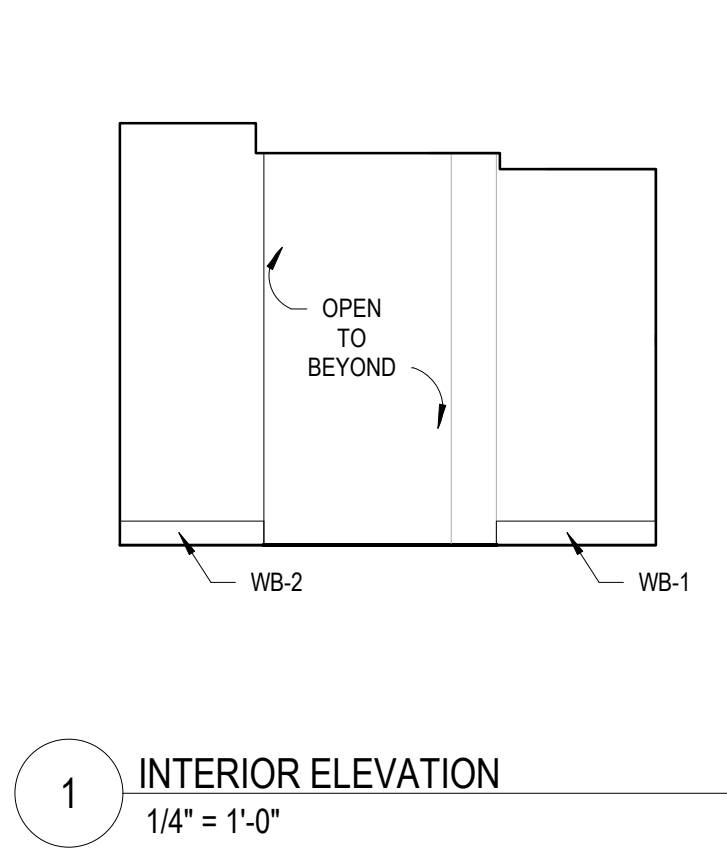
- ALL GLASS PARTITION
- SS-1 COUNTERTOP
- WOOD WALLCOVERING OVER EXISTING GYP. BD. - PREP GYP FOR LEVEL 5 FINISH PRIOR TO INSTALL
- REINSTALL EXISTING CORNERGUARDS
- PROVIDE JOHNSONITE OPTIMA - 869 SWEET CHERRY IN AREA INDICATED. CUT BACK EXISTING FLOORING AND PREP SLAB AS REQUIRED FOR NEW WORK



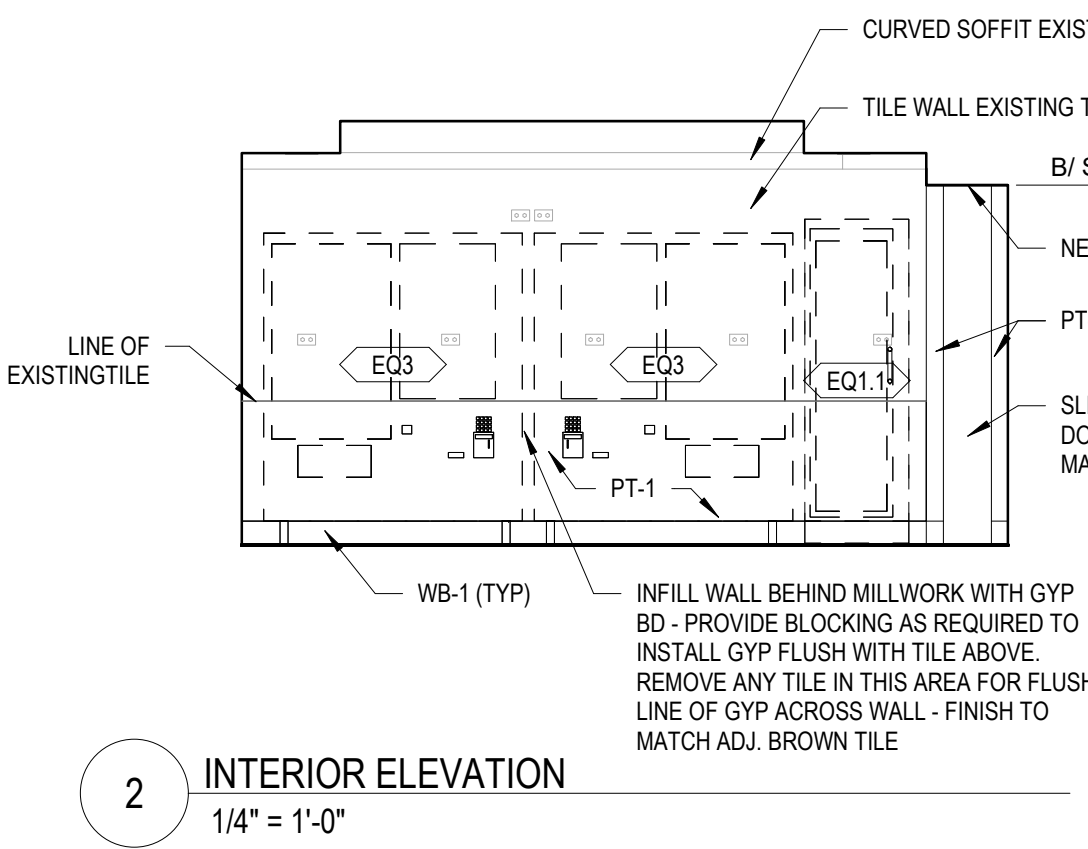
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2 REFLECTED CEILING PLAN
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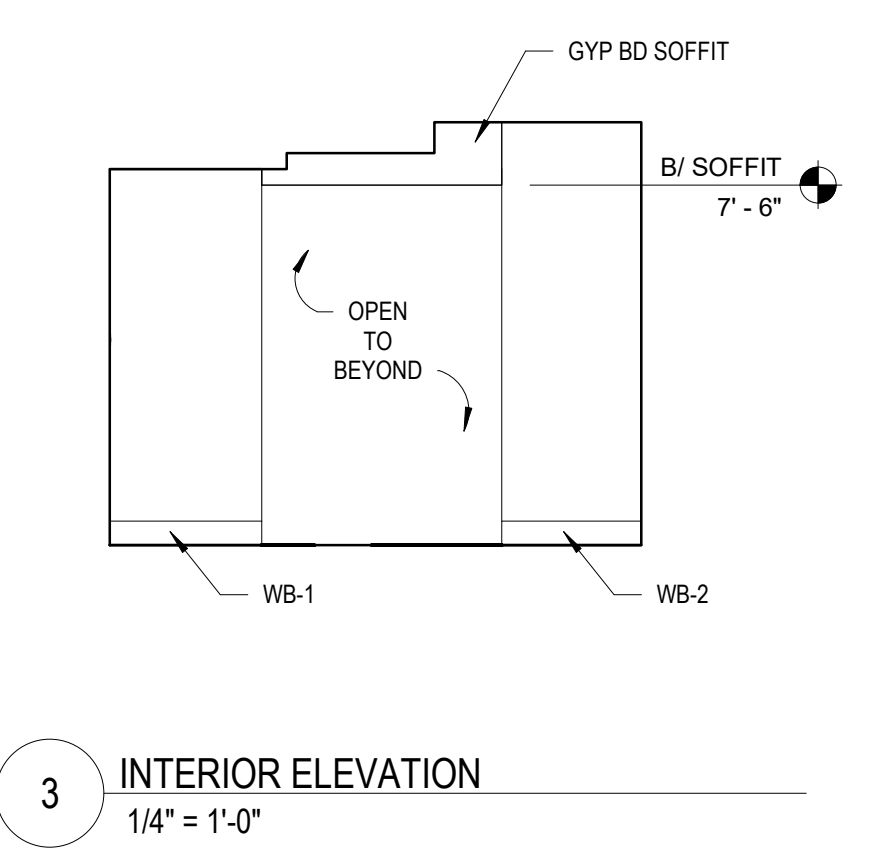
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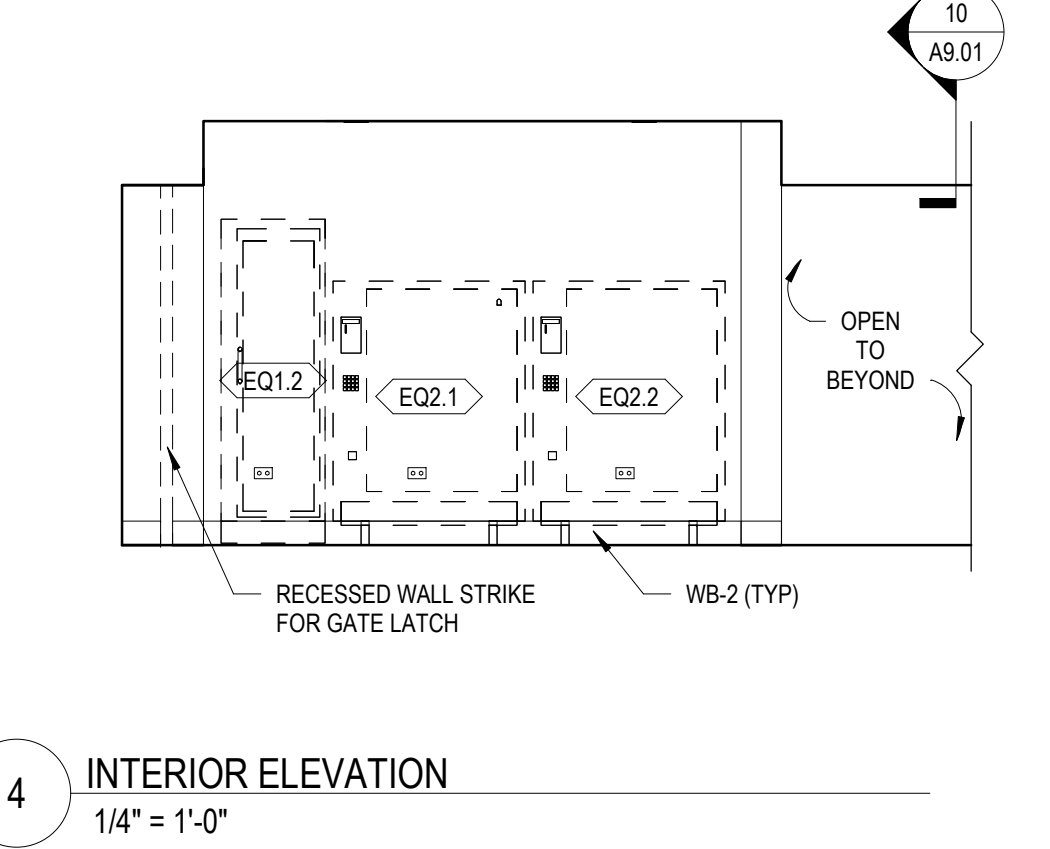
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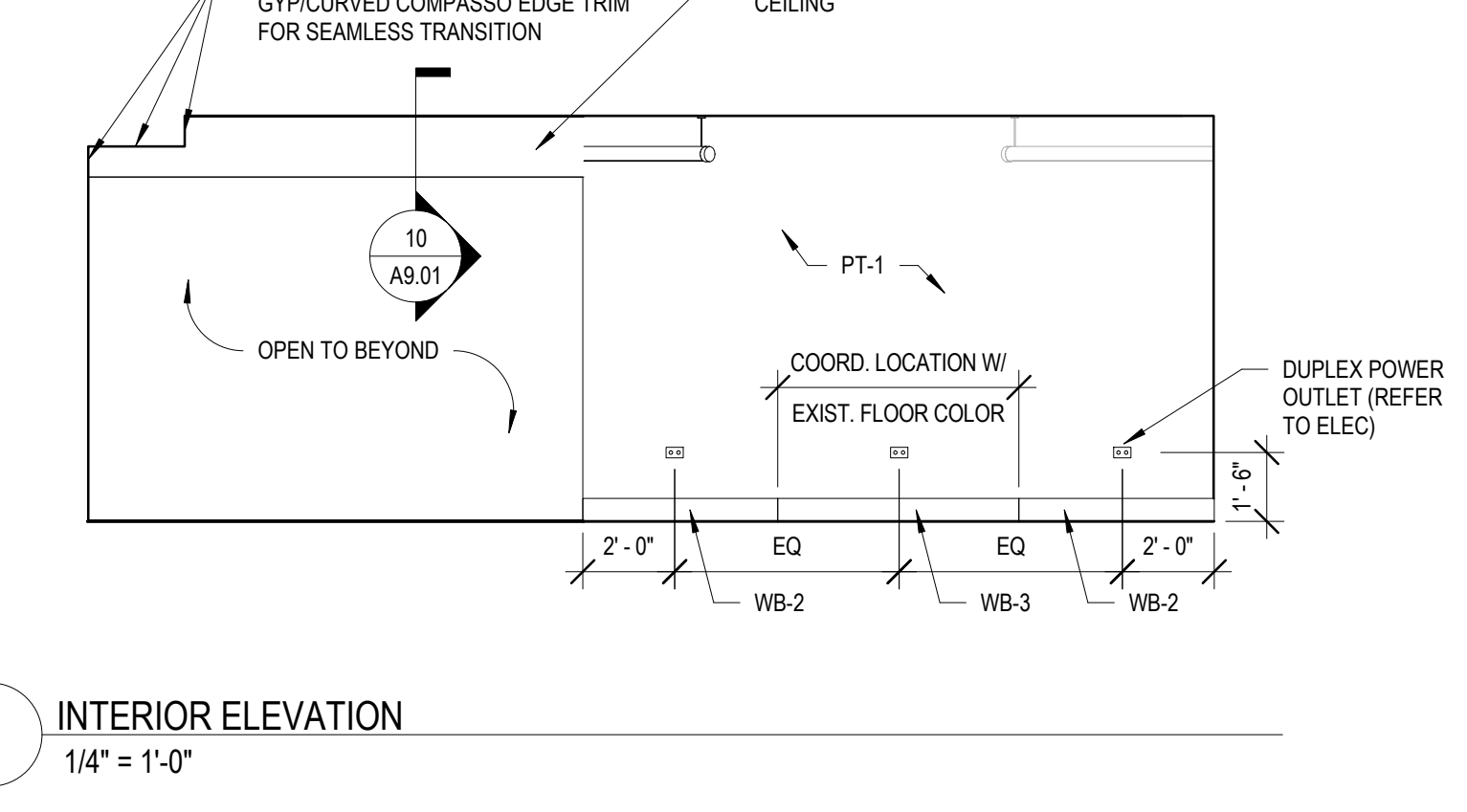
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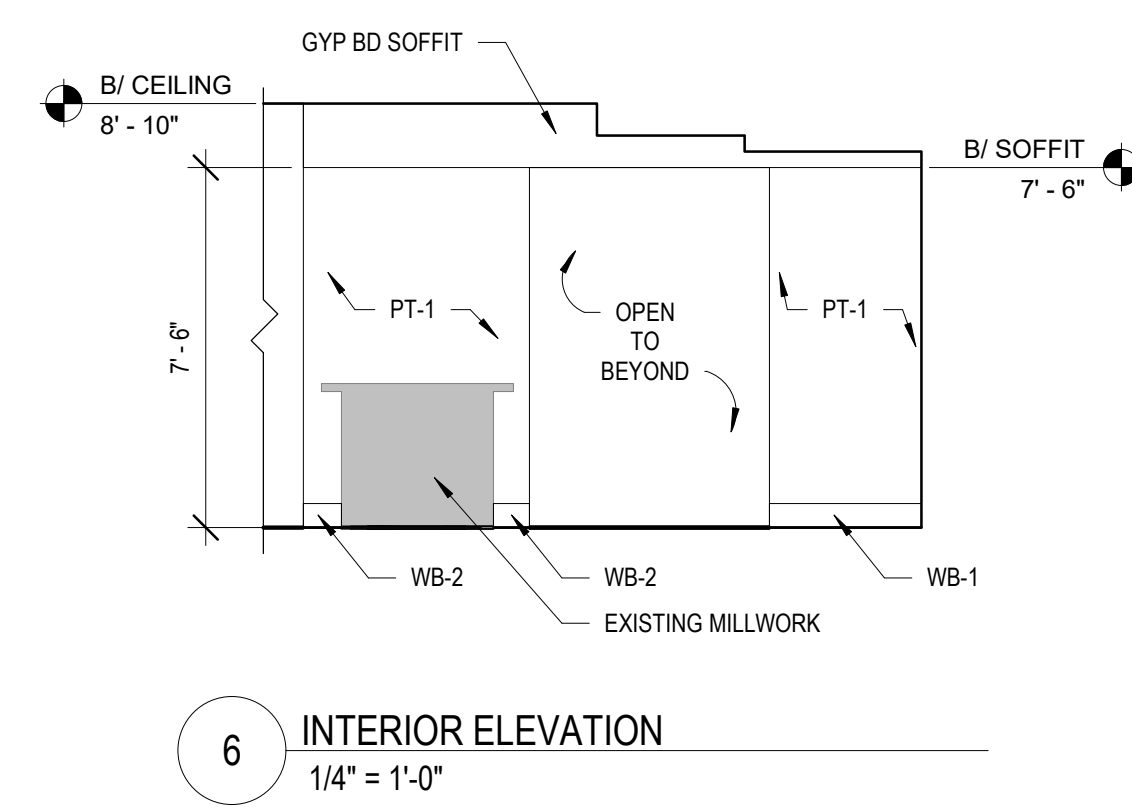
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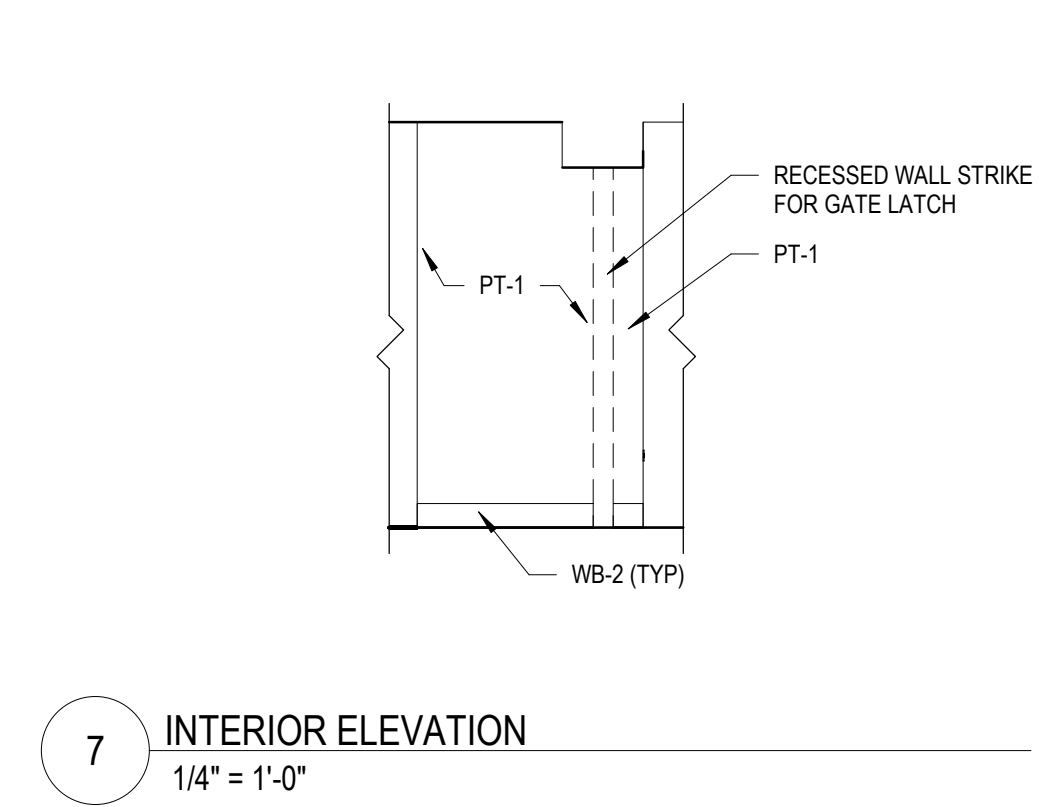
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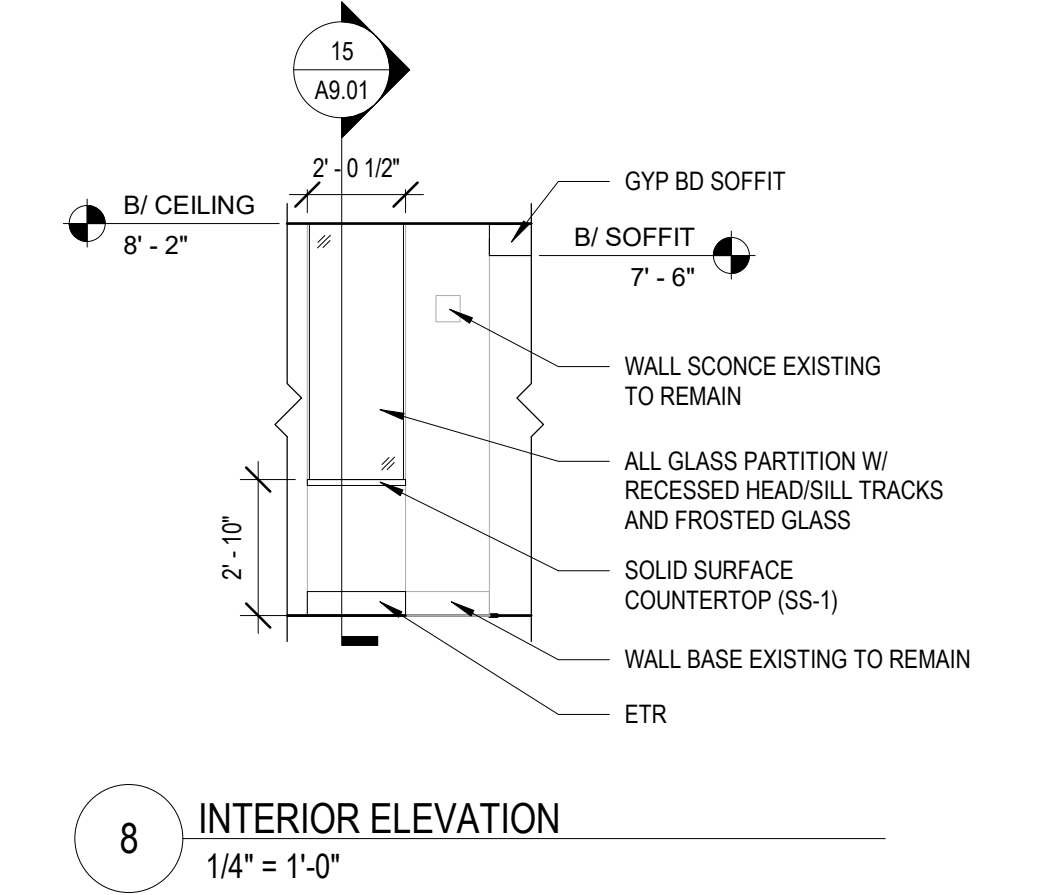
5 INTERIOR ELEVATION
 1/4" = 1'-0"



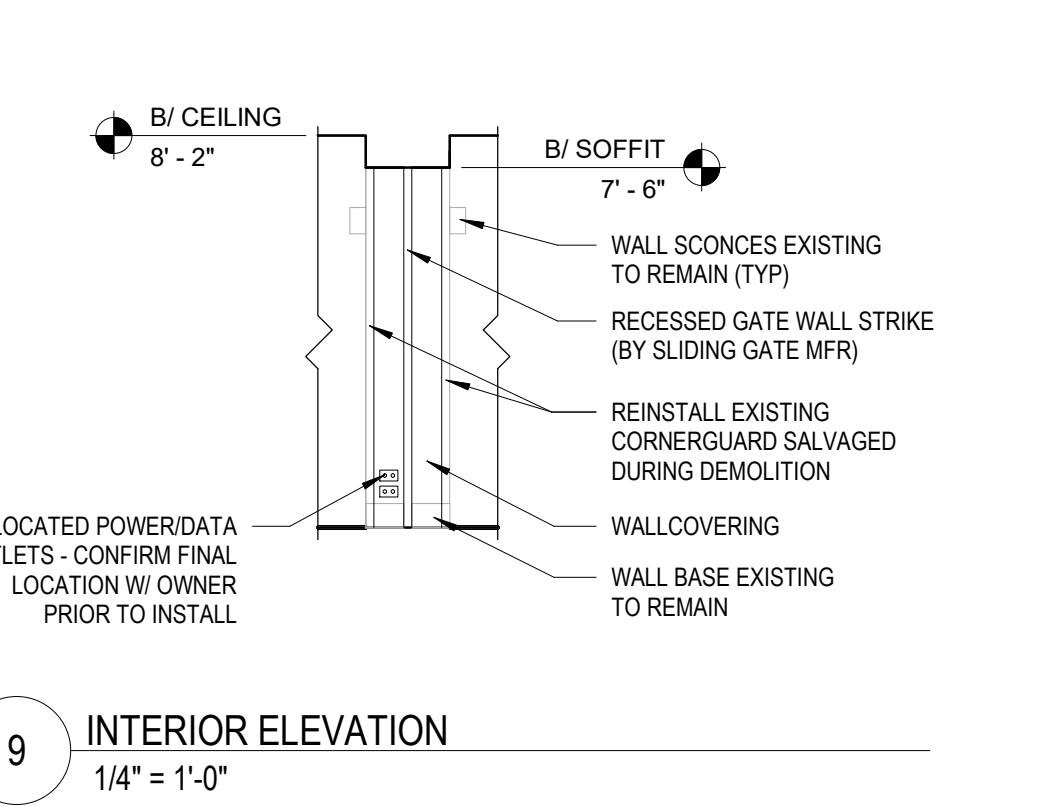
6 INTERIOR ELEVATION
 1/4" = 1'-0"



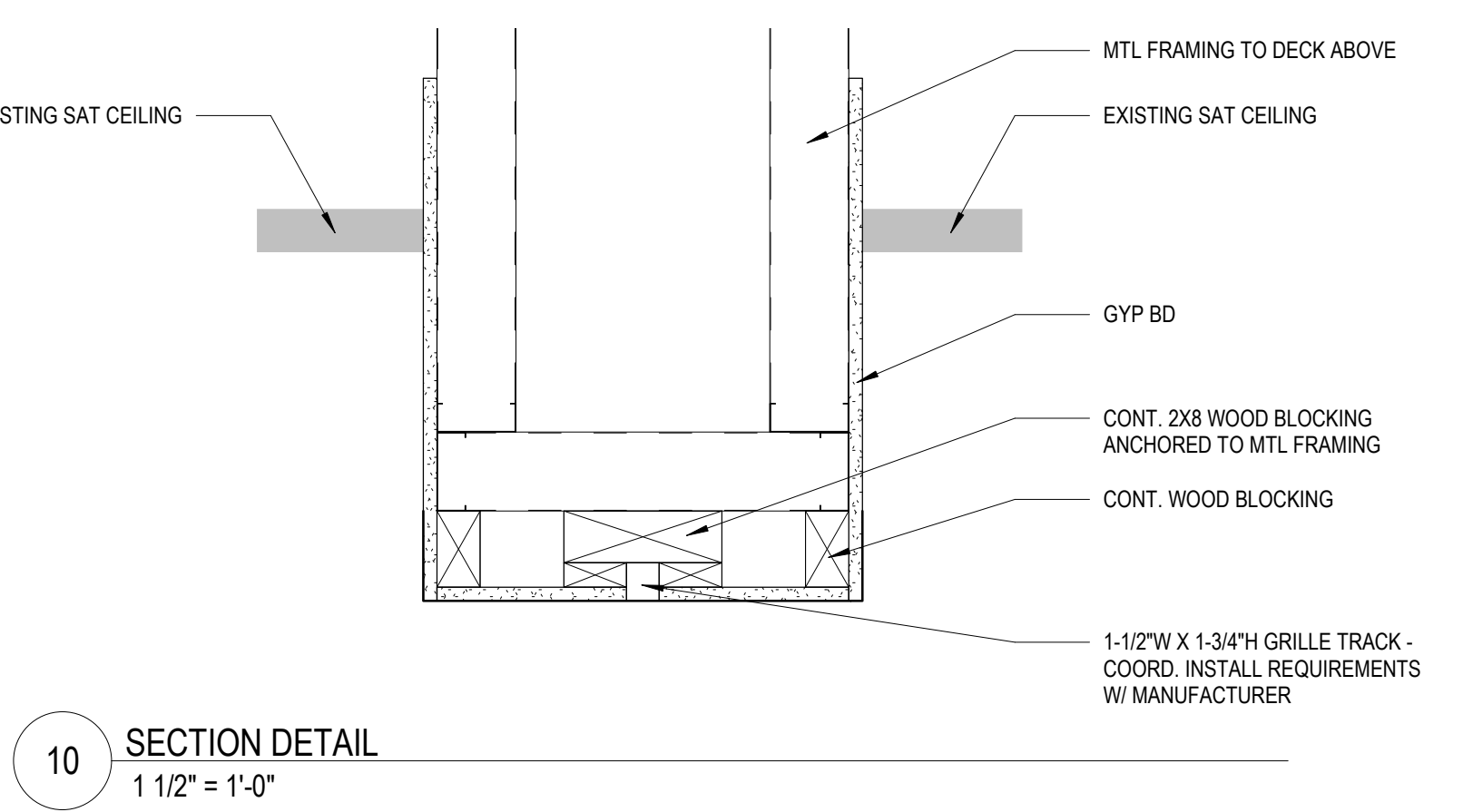
7 INTERIOR ELEVATION
 1/4" = 1'-0"



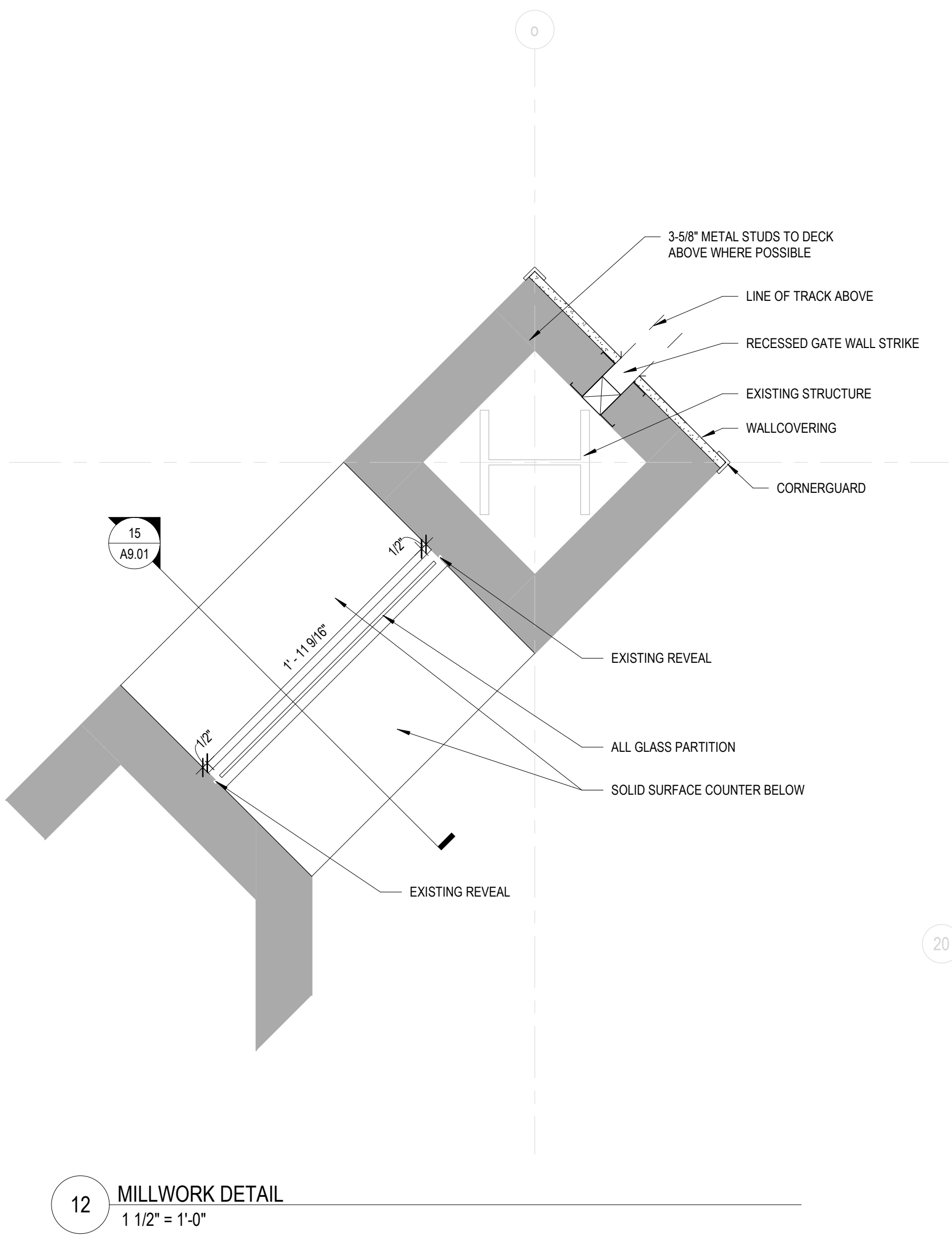
8 INTERIOR ELEVATION
 1/4" = 1'-0"



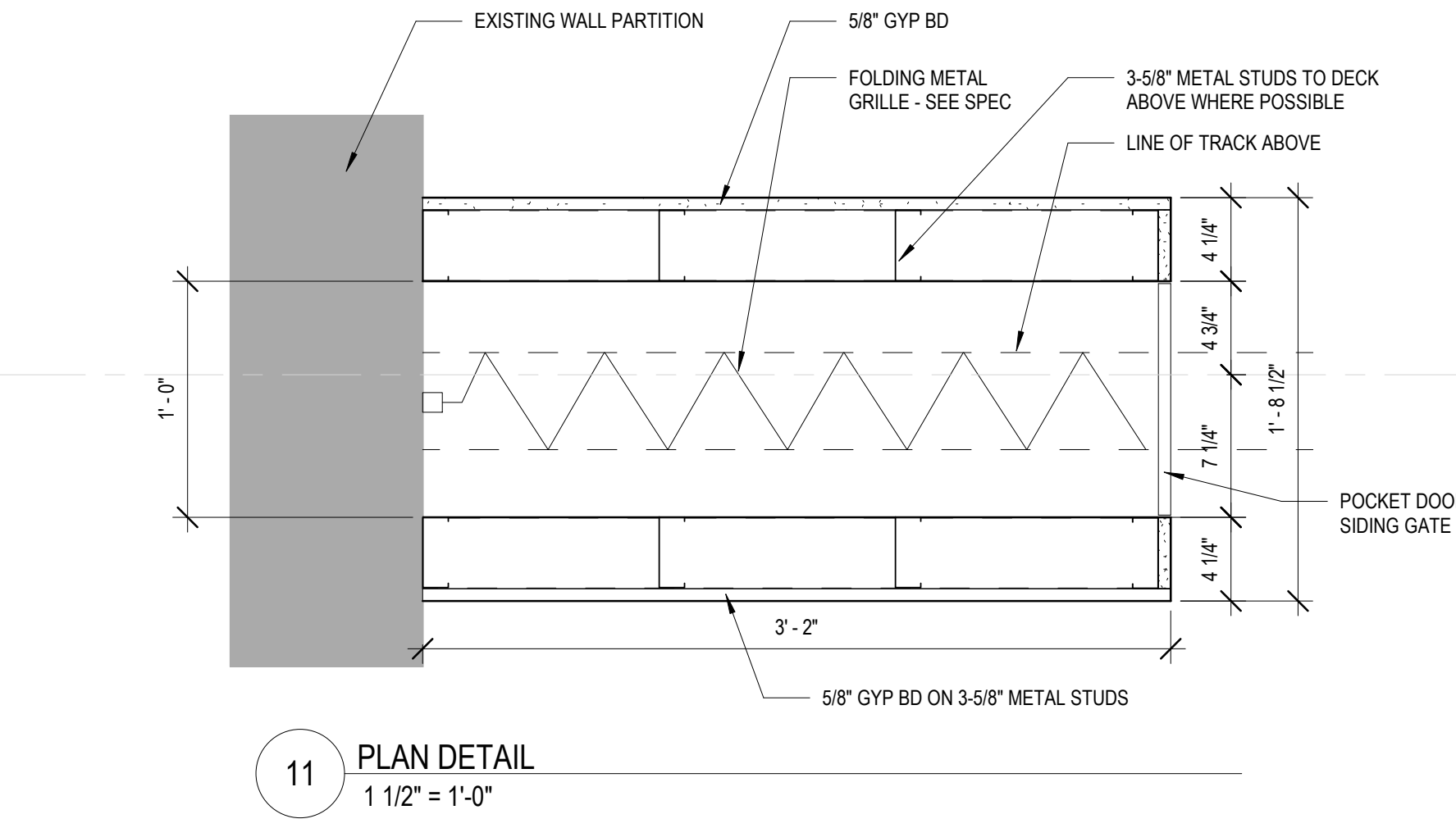
9 INTERIOR ELEVATION
 1/4" = 1'-0"



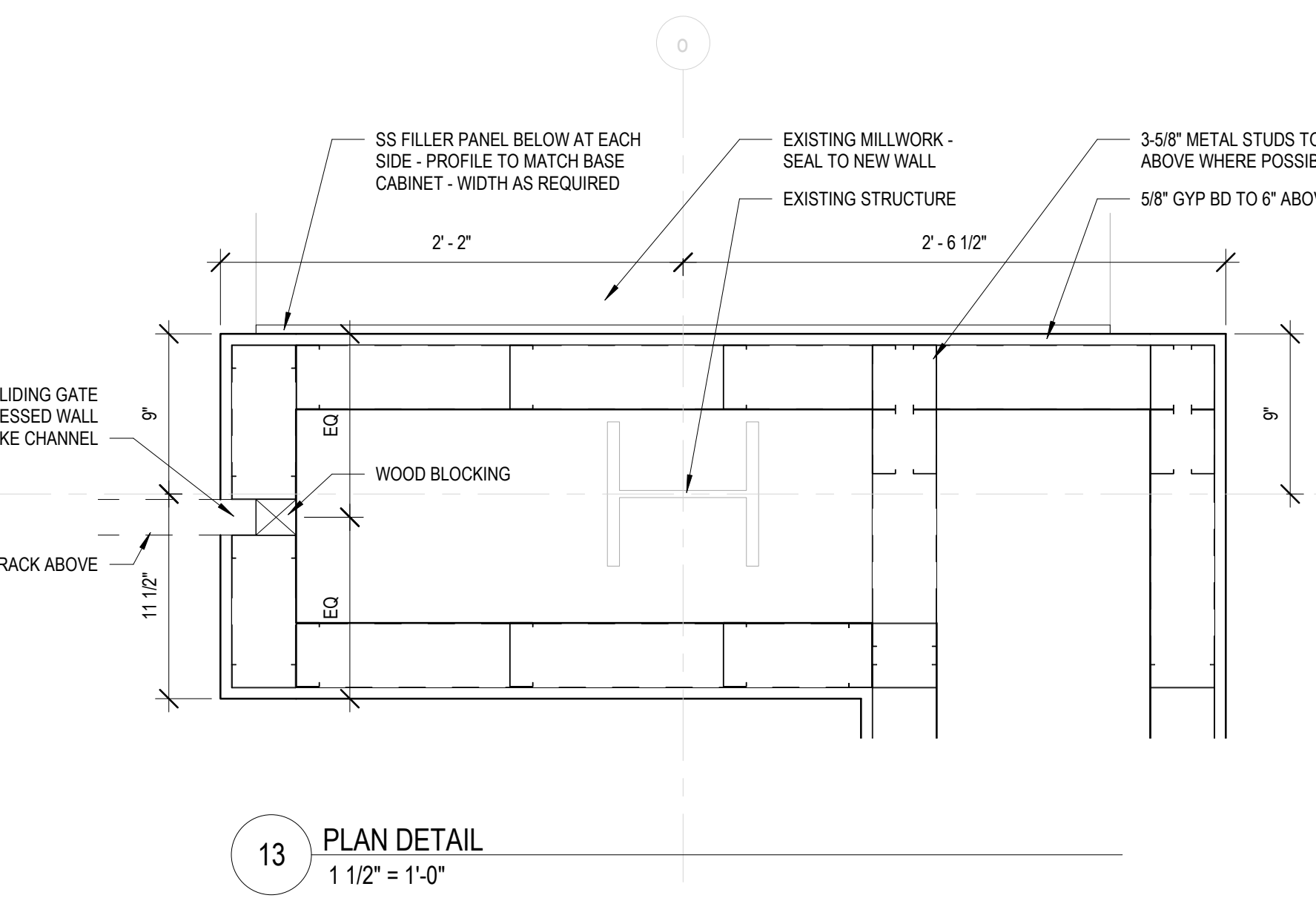
10 SECTION DETAIL
 1 1/2" = 1'-0"



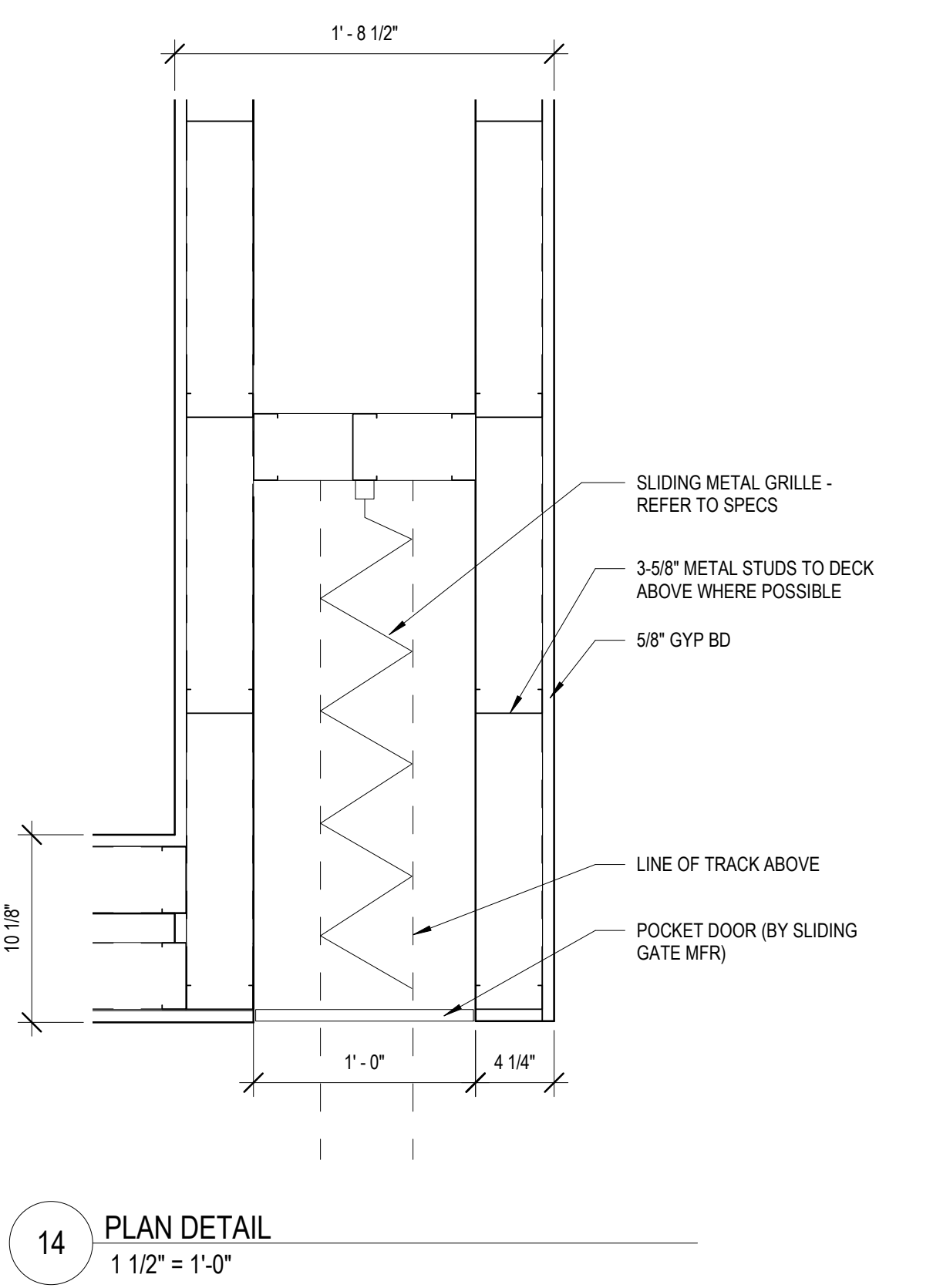
12 MILLWORK DETAIL
 1 1/2" = 1'-0"



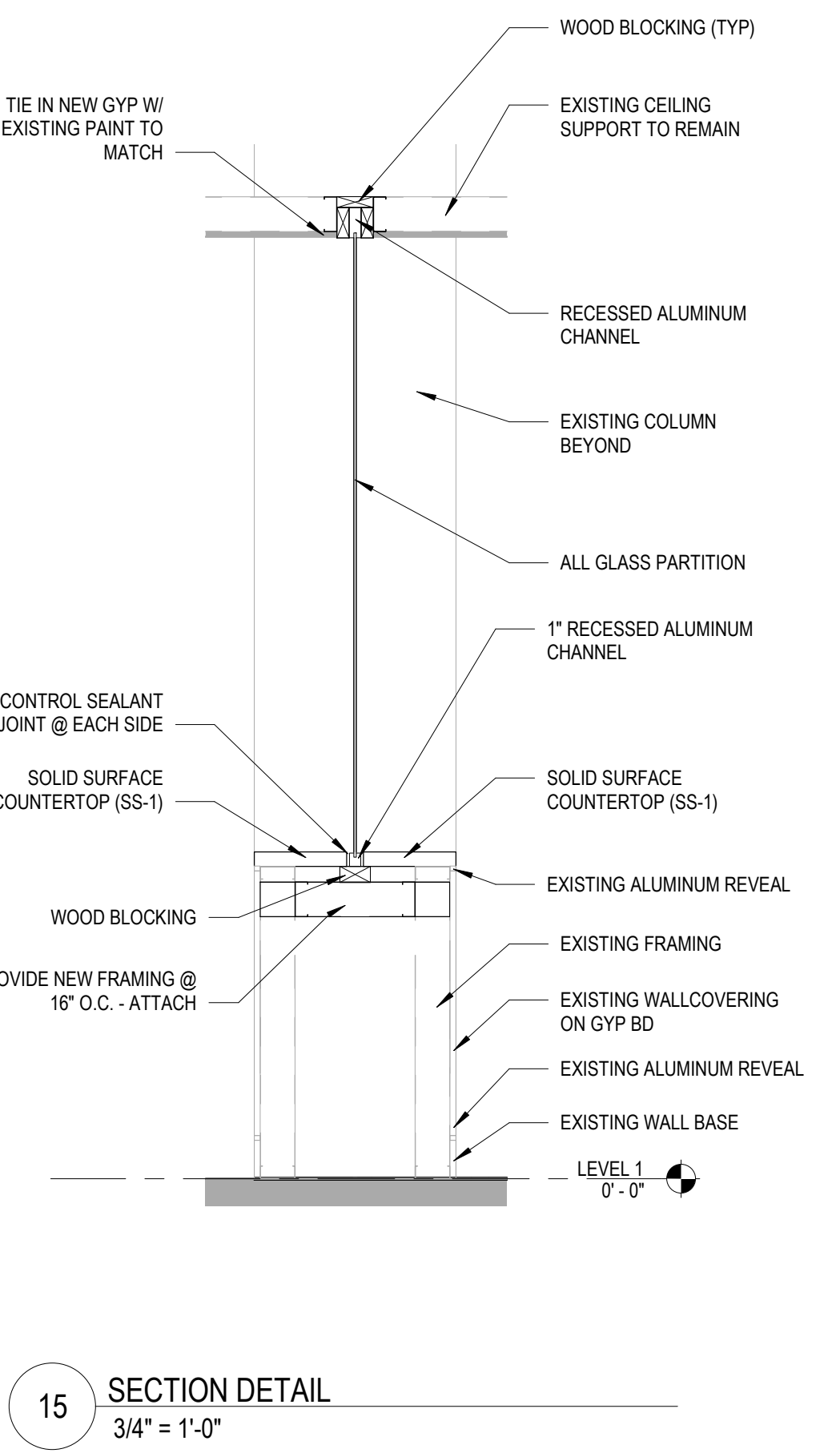
11 PLAN DETAIL
 1 1/2" = 1'-0"



13 PLAN DETAIL
 1 1/2" = 1'-0"



14 PLAN DETAIL
 1 1/2" = 1'-0"



15 SECTION DETAIL
 3/4" = 1'-0"

WALL FINISH TYPES:			
TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
PT-1	GENERAL PAINT	TBD	TBD
WC	VINYL WALLCOVERING	TBD	TBD

WALL BASE TYPES:			
TYPE	DESCRIPTION	MANUFACTURER	NAME#/COLOR
WB-1	6" H RED COVE BASE	TARKETT	TBD
WB-2	6" H GREEN STRAIGHT BASE	TARKETT	TBD
WB-3	6" H WHITE STRAIGHT BASE	TARKETT	TBD



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**MCHENRY COUNTY COLLEGE
 FOODSERVICE RENO**

8900 U.S. Highway 14
 Crystal Lake, IL 60012
 DKA PROJECT NO: 21-042

KEY PLAN:

SHEET STATUS: 10/25/2021
ISSUED FOR BID

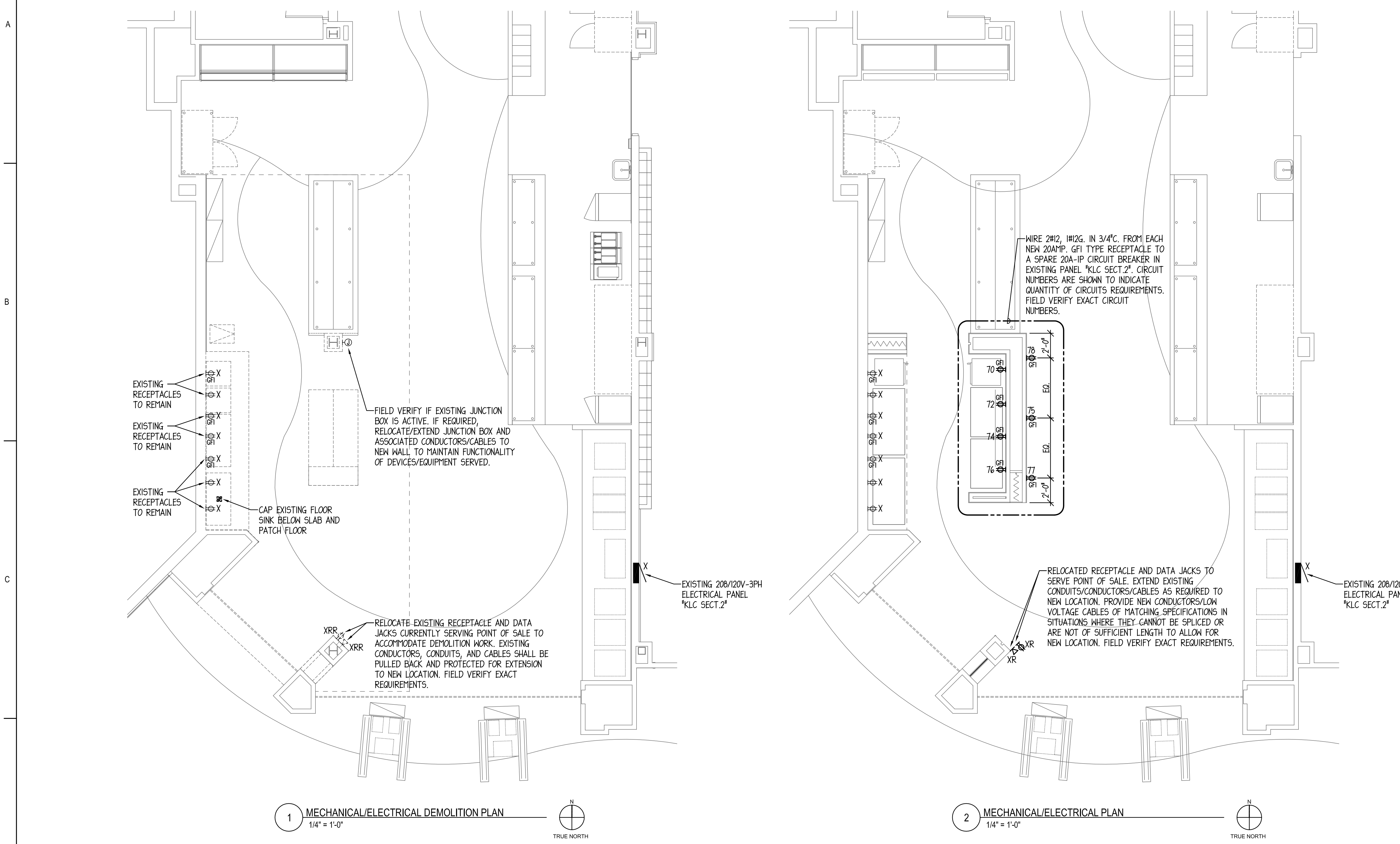
NO.	DESCRIPTION	DATE

SHEET TITLE:
**MECH./ELEC.
 DEMOLITION AND
 NEW WORK PLANS**

SHEET NUMBER:
ME1.10

ELECTRICAL SPECIFICATIONS

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND SHALL CONFORM TO MCHENRY COUNTY COLLEGE STANDARDS.
- PROVIDE ALL PERMITS AND INSPECTION FEES.
- ALL MATERIAL AND LABOR SHALL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE BY THE OWNER.
- CONTRACTOR SHALL PROVIDE ALL THEIR OWN RIGGING, SCAFFOLDING, RUBBISH REMOVAL, AND LEAVE SPACE BROOM CLEAN.
- MINIMUM SIZE CONDUIT SHALL BE 3/4" EMT, PROVIDE IMC FOR CONDUITS 2" AND LARGER OR WHERE EXPOSED TO WET OR DAMP LOCATIONS. EMT FITTINGS SHALL BE COMPRESSION TYPE. IMC SHALL HAVE THREADED CONNECTIONS. TRANSITION TO LIQUID-TIGHT FLEXIBLE METAL CONDUIT FOR FINAL CONNECTION (MAXIMUM LAST 6 FEET) OF CONDUCTORS SERVING EQUIPMENT SUBJECT TO VIBRATION.
- MINIMUM SIZE CONDUCTOR SHALL BE #12 THHN, OR THIN WHERE REQUIRED. CONDUCTOR MATERIAL SHALL BE COPPER ONLY.
- PROVIDE EQUIPMENT GROUNDING CONDUCTOR IN ALL RACEWAYS.
- BRANCH CIRCUIT CONDUCTORS FOR 20 AMP RECEPTACLES AND LIGHTING CIRCUITS SHALL BE ADJUSTED FOR VOLTAGE DROP:
 - 120/208V: 0-75' - #12AWG MINIMUM
 75'-150' - #10AWG MINIMUM
 150'-225' - #8AWG MINIMUM
 - 277/480V: 0-100' - #12AWG MINIMUM
 100'-200' - #10AWG MINIMUM
 200'-300' - #8AWG MINIMUM
- CONDUCTOR SIZES #14 AWG, #12 AWG, AND #10 AWG SHALL BE SOLID. CONDUCTOR SIZES #8 AWG AND LARGER SHALL BE STRANDED. ALL CONDUCTORS SHALL BE COLOR CODED.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY CUTTING AND PATCHING INCLUDING SLEEVES AND INSERTS.
- THE COLOR AND FINISH OF ALL MATERIALS SHALL BE SUBJECT TO REVIEW AND APPROVAL OF ARCHITECT.
- ALL NEW CIRCUIT BREAKERS SHALL BE BOLT-ON BREAKERS (10,000 A.I.C.), COMPATIBLE WITH EXISTING PANELBOARD. PROVIDE TYPENWRITTEN DIRECTORIES IN ALL PANELS.
- BEFORE SUBMITTING THEIR BID, CONTRACTOR SHALL VISIT THE SITE TO ASCERTAIN ALL WORK INVOLVED IN THE PROJECT.
- CONTRACTOR SHALL COORDINATE THEIR WORK WITH OTHER CONTRACTORS ON THE PROJECT.
- CONTRACTOR SHALL MAKE NECESSARY MODIFICATIONS AND ADJUSTMENTS TO ALL ELECTRICAL ITEMS AND EQUIPMENT AS MAY BE REQUIRED BY THIS WORK.
- ALL ELECTRICAL EQUIPMENT MUST MAINTAIN WORKING CLEARANCES AS REQUIRED BY NEC.
- UNLESS INDICATED ON ARCHITECTURAL DRAWINGS, THE CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL CORING, CUTTING, PATCHING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT OF NEW OR EXISTING BUILDING CONSTRUCTION REQUIRED TO ACCOMMODATE THE INSTALLATION OR REMOVAL OF THEIR WORK. REMOVE, STORE, AND REINSTALL CEILING TILES AS REQUIRED TO INSTALL WORK ABOVE EXISTING REMOVABLE CEILINGS WHICH REMAIN; REPLACE TILES BROKEN OR DAMAGED DURING CONSTRUCTION. ALL PATCHING, REPAIRING, AND REFINISHING WORK TO OTHER FINISHES AND STRUCTURAL ELEMENTS SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION AS CLOSELY AS POSSIBLE WHILE MAINTAINING EXISTING FIRE RATINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXISTING FIRE RATINGS OF CEILINGS AND PARTITIONS SYSTEMS. CARE SHALL BE TAKEN SO AS NOT TO DAMAGE ANY EXISTING BUILDING CONSTRUCTION OR ITEMS THAT ARE TO REMAIN. ANY EXISTING FINISHES THAT ARE DAMAGED DURING THE INSTALLATION OF NEW WORK OR REMOVAL OF EXISTING WORK SHALL BE REPAIRED, REPLACED, AND PAID FOR BY THE INSTALLING CONTRACTOR TO THE SATISFACTION OF THE ARCHITECT AND OWNER. REFER TO ARCHITECTURAL DRAWINGS FOR EXISTING BUILDING CONSTRUCTION THAT IS TO REMAIN AND, THEREFORE, SUBJECT TO PATCHING, REPAIRING, REFINISHING, AND REMOVAL/REPLACEMENT.
- RACEWAY SYSTEMS SHALL NOT BE ROUTED THROUGH OR IN HVAC DUCTS.
- ALL DEMOLITION OF THE ELECTRICAL SYSTEM AS NOTED ON THE DRAWINGS SHALL BE COORDINATED WITH THE RENOVATION REQUIREMENTS TO DETERMINE THIS CONTRACTOR'S WORK.
- IT IS THE INTENT OF THE DRAWING(S) TO INDICATE AREAS IN WHICH EQUIPMENT, CONDUIT, LUMINAIRES, DEVICES, ETC. NEED TO BE REMOVED, RELOCATED, OR MODIFIED BY THIS CONTRACTOR TO ALLOW FOR THE RENOVATION PHASE OF CONSTRUCTION. THE DRAWING(S) IS FOR REFERENCE PURPOSES ONLY AND IT IS NOT INTENDED TO BE THE SOLE SOURCE OF EXISTING CONDITIONS.
- CONTRACTOR SHALL VISIT THE BUILDING, BEFORE SUBMITTING THEIR BID, TO VERIFY THE EXISTING CONDITIONS WHICH WILL AFFECT THEIR WORK.
- ALL EXISTING RECEPTACLES/DATA OUTLETS/EQUIPMENT ON WALLS THAT ARE NOT PART OF DEMOLITION SHALL REMAIN AS IS UNLESS NOTED OTHERWISE. CONTRACTOR SHALL CHECK AND VERIFY FOR CONTINUING OPERATION OF THESE DEVICES PRIOR TO SUBSTANTIAL COMPLETION. IF ANY EXISTING CIRCUITS TO REMAIN ARE INTERRUPTED BY DEMOLITION OR NEW CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT/REMOVAL/ROUTING OF CONDUITS AND WIRES AS REQUIRED TO MAINTAIN FUNCTIONALITY OF DOWNSTREAM DEVICES AND EQUIPMENT.
- ANY PENETRATIONS THROUGH WALLS AND FLOORS SHALL BE PROPERLY SEALED AND TREATED TO MAINTAIN THE FIRE STOPPING RATING OF THE WALLS, FLOORS, AND CEILINGS.
- BACKBOXES ARE TO BE MOUNTED OFFSET, NOT BACK TO BACK.
- CIRCUIT NUMBER(S), WHERE SHOWN, ARE TO INDICATE QUANTITY OF CIRCUITS REQUIRED. VERIFY EXACT CIRCUIT NUMBER TO BE UTILIZED IN FIELD. CONTRACTOR SHALL PROVIDE ACTUAL CIRCUITING AS PART OF "AS BUILT" DRAWINGS.
- UNLESS INDICATED OTHERWISE, ALL MATERIALS REQUIRED TO PROVIDE BRANCH CIRCUITS AND FEEDERS ARE TO BE NEW.
- ANY ELECTRICAL DEVICES ON NEW WALLS SHALL BE FLUSH MOUNTED. NO WIREMOLDS ARE ACCEPTABLE ON NEW WALLS UNLESS NOTED OTHERWISE.
- LOW VOLTAGE WIRING SHALL NOT LIE ON TOP OF CEILING GRID SYSTEM. WIRING SHALL BE SUPPORTED AT INTERVALS NOT EXCEEDING 5 FEET BY UTILIZING J-HOOKS SUPPORTED BY STRUCTURAL MEMBERS. WIRING SHALL BE ROUTED PARALLEL OR PERPENDICULAR TO STRUCTURAL MEMBERS.
- REMOVE AND REINSTALL CEILING MOUNTED DEVICES AS REQUIRED TO ALLOW INSTALLATION OF FEEDERS, BRANCH CIRCUITS, MECHANICAL PIPING, AND DUCT WORK. DEVICES INCLUDE BUT ARE NOT LIMITED TO: LUMINAIRES, SPEAKERS, FIRE ALARM, AND PAGING DEVICES.
- PROVIDE PULL BOX(ES) BETWEEN PULL POINTS AS REQUIRED TO COMPLY WITH NEC 344.26 SUCH THAT THERE SHALL NOT BE MORE THAN THE EQUIVALENT OF FOUR QUARTER BENDS (360 DEGREE TOTAL) BETWEEN PULL POINTS.
- PROVIDE DEDICATED NEUTRAL FOR EACH BRANCH CIRCUIT TO MEET THE REQUIREMENTS OF ARTICLE 210.4(B).
- IN JUNCTION BOXES WHERE CURRENT CARRYING CONDUCTORS ARE SPLICED OR TERMINATED, PROVIDE BOND TO JUNCTION BOX FROM EQUIPMENT GROUNDING CONDUCTOR.



1 MECHANICAL/ELECTRICAL DEMOLITION PLAN
 1/4" = 1'-0"
 TRUE NORTH

2 MECHANICAL/ELECTRICAL PLAN
 1/4" = 1'-0"
 TRUE NORTH

DEMOLITION SYMBOLS	
SYMBOL	DESCRIPTION
R	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED.
X	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO REMAIN.
XC	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED AND JUNCTION BOX CAPPED OR REUSED AS REQUIRED.
XO	NEW ELECTRICAL EQUIPMENT INSTALLED OVER EXISTING OUTLET.
XRR	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE REMOVED, RELOCATED AND JUNCTION BOX REMOVED OR CAPPED AS REQUIRED.
XR	EXISTING ELECTRICAL EQUIPMENT OR OUTLET RELOCATED (NEW LOCATION). EXTEND EXISTING FEED AS REQUIRED TO MAINTAIN DEVICE/EQUIPMENT OPERATION. PROVIDE NEW FEED OF MATCHING SPECIFICATIONS IN SITUATIONS WHERE THEY CANNOT BE SPLICED OR ARE NOT OF SUFFICIENT LENGTH TO REACH NEW LOCATION.
XRT	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE TEMPORARILY REMOVED AND REINSTALLED IN SAME LOCATION.
XA	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE ABANDONED.
XM	EXISTING ELECTRICAL EQUIPMENT OR OUTLET TO BE MODIFIED.
XW	EXISTING ELECTRICAL EQUIPMENT TO BE REWIRED.

NOTE: NOT ALL SYMBOLS MAY BE USED.

NAME: 1550201E110.dwg BY: JCC DATE: OCT 25, 2021 TIME: 2:49 PM

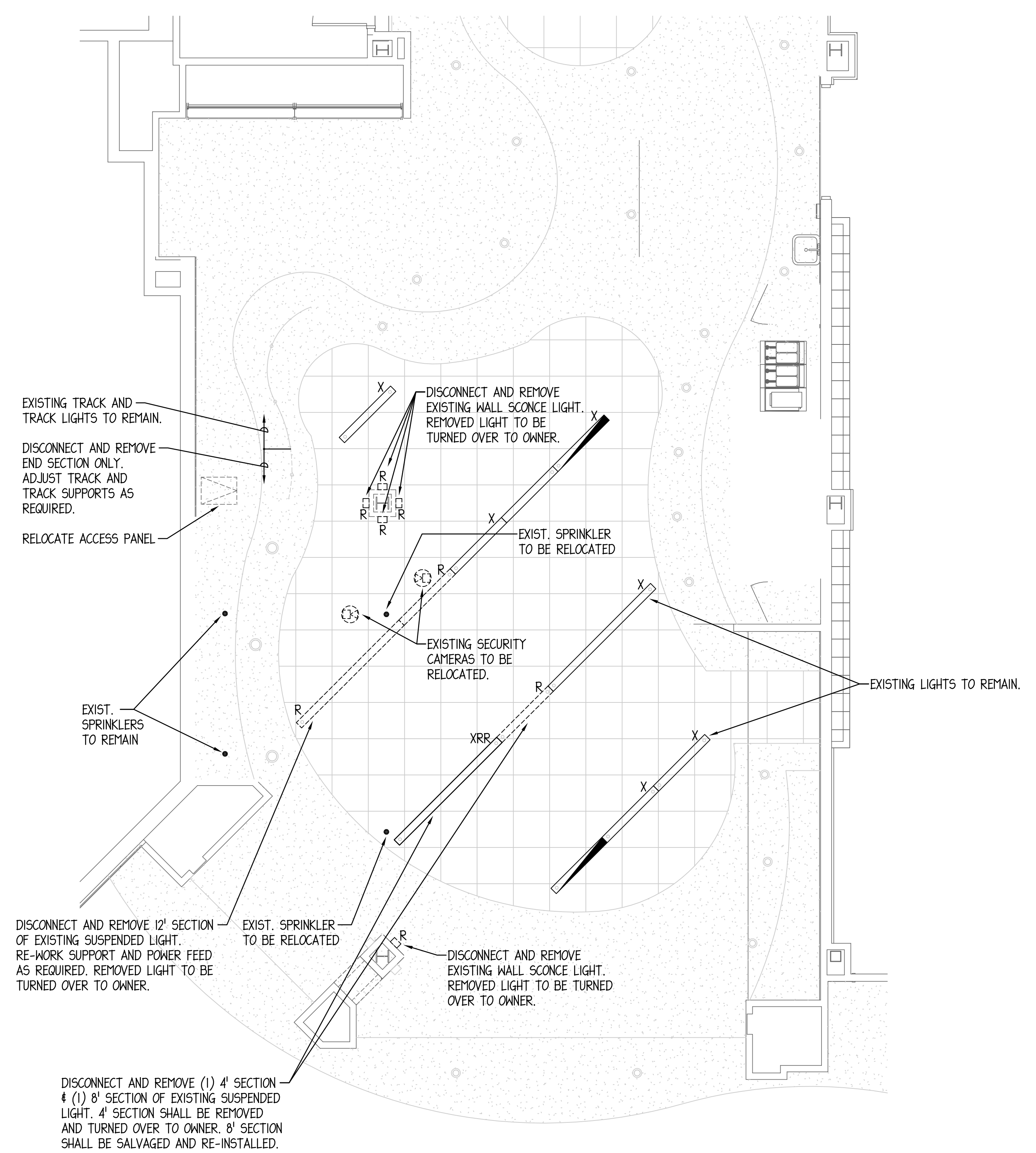


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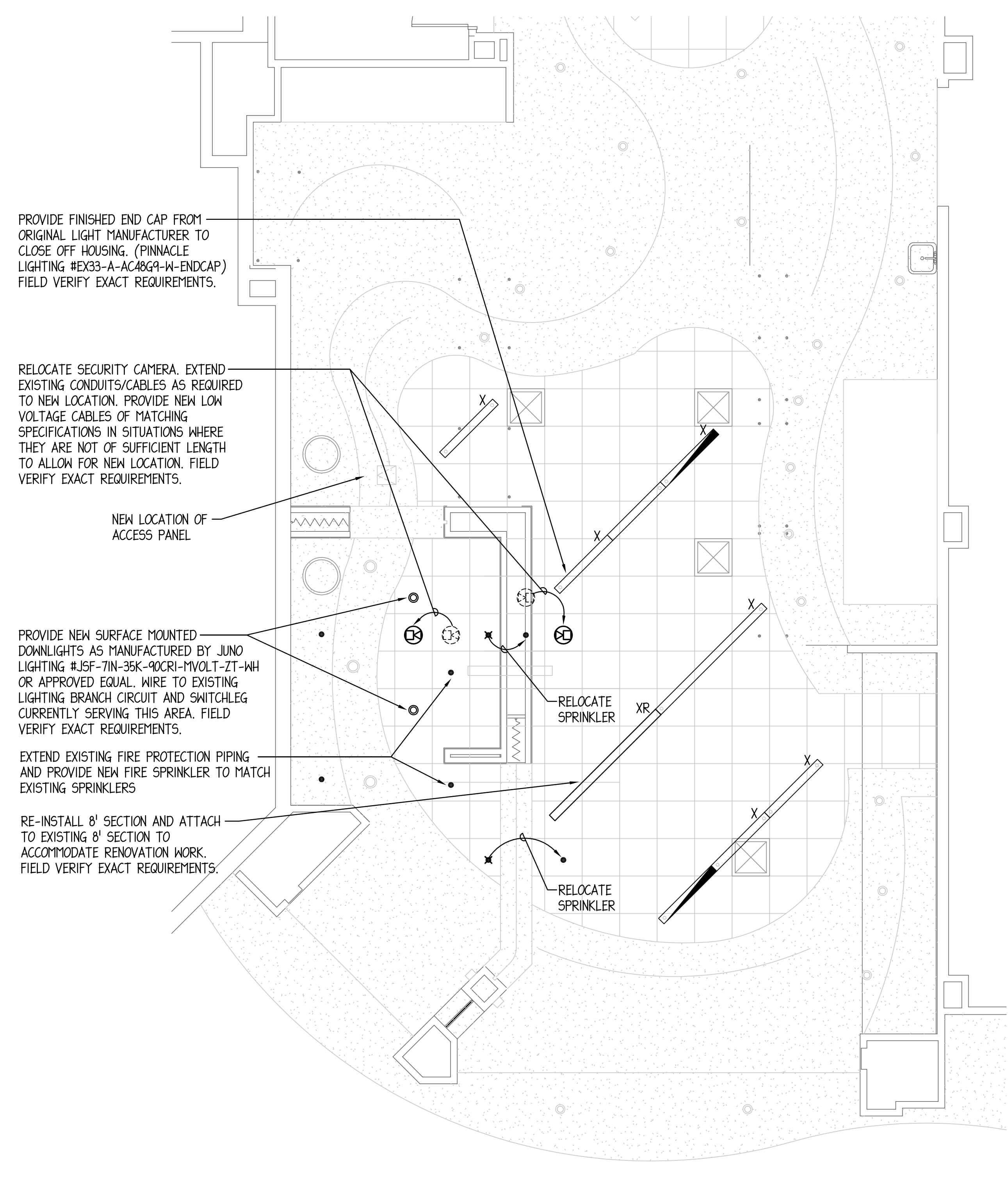
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1 MECHANICAL/ELECTRICAL RCP DEMOLITION PLAN
 1/4" = 1'-0" TRUE NORTH



2 MECHANICAL/ELECTRICAL RCP PLAN
 1/4" = 1'-0" TRUE NORTH

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KEY PLAN:

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 PLANS**

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ME2.10